



## BANNOCK COUNTY COMMISSIONERS' – MEETING

### Commissioners' Agenda

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The Board of County Commissioners (BOCC) is comprised of the three elected County Commissioners: Ernie Moser (District 1), Jeff Hough (District 2, Chair), and Ken Bullock (District 3). The BOCC generally meets twice weekly: Tuesdays & Thursdays at 9:00 a.m. Unless otherwise noted, meetings are generally held in the Commissioner's Chambers at 624 E Center, Room 212, Pocatello, Idaho. During these public meetings, the BOCC may approve contracts, expend funds, hear testimony, make decisions on land use cases, and take care of other County matters.

Times are subject to change within 15 minutes of the stated time.

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### **THURSDAY, MAY 29, 2025**

#### **9:00 AM Business Meeting (action items)**

##### **Agenda:**

- Kristi Klauser, Auditing, regarding (1) a review of projected fund balance, and (2) signature on titles of vehicles that are being disposed of (requested 10 minutes) (action item)
- Alisse Foster, Planning, requesting review and approval for final plat for (1) South Hills Subdivision, (2) Angileen's Place at Canyon Heights, and (3) Turkey Hollow Subdivision (requested 5 minutes) (action item)
- Dillon Evans, Solid Waste, requesting to discuss the Landfill Entrance Facility Design (requested 15 minutes) (action item)

##### **Claims Agenda:**

- Board of Ambulance District: Invoices and Commissioner Report
- Board of Commissioners: Invoices, Commissioners Reports, and Credit Applications
- Salary Rate Approval Forms/Notice of Separation with Potential Executive Session under Idaho Code §74-206(1)(a)&(b) regarding personnel with potential action following adjournment of Executive Session

- Payroll Report
- Alcohol Licenses and Permits
- Certificate of Residency Approval
- Mileage Reimbursement Requests
- Technology Request Form
- Memorandum Authorization for Accounts Payable
- Cardholder User Agreement and Authorization

**10:00 AM** Fiscal Year 2026 Budget Preparation Meeting (potential action item)



**BANNOCK COUNTY COMMISSIONERS**  
 624 E. Center, Pocatello, ID 83201  
 Phone: (208) 236-7210 • Fax: (208) 232-7363

**ERNIE MOSER**  
 Commissioner  
 1st District

**JEFF HOUGH**  
 Commissioner  
 2nd District

**KEN BULLOCK**  
 Commissioner  
 3rd District

## Business Meeting Agenda Request Form

The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:15 a.m.** in the Commissioners' Chambers in the Bannock County Courthouse, Room 212; 624 E Center Pocatello, Idaho or as noticed **48 hours** prior to the meeting at <https://bannockcounty.us/commissioners/>. The Commissioners also hold meetings throughout the week as coordinated with the Commissioners' staff. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special accommodations to participate in public meetings should contact the Commissioners' Office at 208-236-7210, three to five working days before the meeting.

Requestor Name:

Kristi Klauser

Department:

Auditing

Requestor Email:

kristik@bannockcounty.us

Item(s) to be considered:

1) review projected fund balances, 2) sign titles for vehicles to be disposed of

Date of meeting being requested:

05/29/2025

Time requested:

10 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

No

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Bannock County  
FY26 Projected  
(using Feb 25 revest)  
prepared by BC Auditing

PROJECTED FUND BALANCE AND EXCESS FUND BALANCE  
5/21/25

Excel: budget/FY26/revenue/proj FB

	CURRENT	ROAD & BRIDGE**	JUSTICE FUND	AMBULANCE	DISTRICT COURT	FAIR DISTRICT	FAIR MAINTENANCE
Fund Bal 10-01-24	22,358,199	12,809,935	15,801,494	3,856,937	2,540,430	10,619	310,989
Est FY25 Rev	12,441,298	6,229,280	17,740,840	4,588,074	2,713,467	10,865	119,942
Est FY25 Exp	(15,182,877)	(9,407,923)	(19,972,116)	(5,199,686)	(3,256,672)	(11,000)	(143,600)
Projected Fund Bal	19,616,620	9,631,292	13,570,218	3,245,325	1,997,225	10,484	287,331
Target Fund Bal	3,795,719	2,351,981	4,993,029	1,299,922	814,168	2,750	35,900
Proj Fd Bal Excess	15,820,901	7,279,312	8,577,189	1,945,404	1,183,057	7,734	251,431

	FAIR EXHIBIT	HEALTH DISTRICT	HISTORICAL SOCIETY	INDIGENT	JUNIOR COLLEGE	REC DISTRICT EC/WC	APPRAISAL
Fund Bal 10-01-24	458,131	387,702	56,632	447,384	59,399	1,694,212	1,453,383
Est FY25 Rev	453,406	1,076,124	95,646	250,000	32,289	1,311,250	1,503,276
Est FY25 Exp	(523,721)	(1,117,275)	(105,000)	(582,308)	(40,000)	(1,428,217)	(1,712,343)
Projected Fund Bal	387,816	326,551	47,278	115,076	51,688	1,577,245	1,244,316
Target Fund Bal	130,930	279,319	26,250	10,000	10,000	357,054	428,086
Proj Fd Bal Excess	256,886	47,233	21,028	115,076	41,688	1,220,191	816,231

	LIABILITY INSURANCE	VETERANS MEMORIAL	NOXIOUS WEED	MOSQUITO ABATEMENT	PILT*	SNOWMOBILE	COUNTY BOAT
Fund Bal 10-01-24	295,702	317,911	712,294	267,956	3,144,822	166,029	15,346
Est FY25 Rev	760,494	55,830	440,243	172,572	500,000	20,000	15,000
Est FY25 Exp	(790,448)	(67,900)	(632,586)	(230,189)	(1,215,459)	(41,480)	(24,000)
Projected Fund Bal	265,748	305,841	519,951	210,339	2,429,363	144,549	6,346
Target Fund Bal	197,612	16,975	158,147	57,547	911,594	10,370	6,000
Proj Fd Bal Excess	68,136	288,866	361,804	152,792	1,517,769	134,179	346

	OPIOID SETTLEMENT	COUNTY TOTAL
Fund Bal 10-01-24	677,013	67,822,519
Est FY25 Rev	200,000	50,729,897
Est FY25 Exp	(275,000)	(61,959,800)
Projected Fund Bal	602,013	56,592,616
Target Fund Bal	68,750	15,952,103
Proj Fd Bal Excess	533,263	40,640,514

	JUVENILE DETENTION	SOLID WASTE	EMERGENCY COMMNTNS	BC EVENTS	D6	COUNTY ENTERPRISE TOTAL
Fund Bal 10-01-24	751,250	10,910,604	526,738	318,146	539,284	13,046,022
Est FY25 Rev	1,303,806	8,500,000	937,260	630,000	1,500,000	12,871,066
Est FY25 Exp	(1,306,080)	(9,602,753)	(997,500)	(1,500,000)	(1,099,388)	(14,505,721)
Projected Cash Bal	748,976	9,807,851	466,498	(551,854)	939,896	11,411,367
Target Cash Bal	326,520	2,400,688	249,375	375,000	274,847	3,626,430
Proj Cash Bal Excess	422,456	7,407,163	217,123	(926,854)	665,049	7,784,937

	329814	329815	329817	329819	329835	329836	329846
	VETERANS	CAP ACQUIS	Title III	HEALTH INS	S&R/K9	2 1/2 Mi	TAYLOR GRZ
Fund Bal 10-01-24	1,867	156,114		2,966,120	10,893	88,076	23,245
Est FY25 Rev	2,487	-	22,990	8,000,000	7,000	33,750	-
Est FY25 Exp	(3,000)	(156,114)	(22,990)	(9,000,000)	(6,000)	(11,000)	-
Projected Cash Bal	1,354	-	-	1,966,120	11,893	110,826	23,245
Target Cash Bal				1,800,000	1,500		-
Proj Cash Bal Excess	1,354	0	0	166,120	10,393	110,826	23,245
	329854	329855	329856	329857	329859	329860	329861
	LOTTERY	JUV WKSHP	Bldg Trust	MAILRM	CT DNTNS	Legal Research	CT MONITOR
Fund Bal 10-01-24	3,609	175,948	41,867	68,708	29,227	6,682	548,145
Est FY25 Rev	-	60,000	-	51,000	450	-	35,000
Est FY25 Exp	-	(105,980)	(41,867)	(80,000)	(500)	-	(50,000)
Projected Cash Bal	3,609	130,568	-	39,708	29,177	6,682	533,145
Target Cash Bal	-						
Proj Cash Bal Excess	3,609	130,568	0	39,708	29,177	6,682	533,145
	329863	329864	329865	329867	329868	329869	329890
	DRUG SEIZ	Ct Facilities	Dom Viol	Dom Viol Eval	CTHOUSE DOG	DUI ALUMNI	PUBLIC ADM
Fund Bal 10-01-24	149,975	110,216	142,954	6,246	246	2,893	8,474
Est FY25 Rev	52,000	30,000	18,000	-	-	-	1,500
Est FY25 Exp	(15,000)	(41,000)	(20,000)	(6,200)	(246)	(2,893)	(1,500)
Projected Cash Bal	186,975	99,216	140,954	46	-	-	8,474
Target Cash Bal							
Proj Cash Bal Excess	186,975	99,216	140,954	46	0	0	8,474
	329895	329896					TRUST CASH
	Judicial Conf	CO CENT					TOTAL
Fund Bal 10-01-24	420	11,188					4,553,113
Est FY25 Rev		-					8,314,177
Est FY25 Exp	-	(11,187)					(9,574,877)
Projected Cash Bal	420	1					3,292,413
Target Cash Bal							1,801,500
Proj Cash Bal Excess	420	1					1,490,913

Note: Rev = 95% curr taxes (on levy sheet)+other revenue budgeted

Exp = total budgeted exp

Fund balance = #s at 9-30-24

\* This assumes 75% of budget spent before receipt of annual revenue.

\*\* This deducts \$900,000 Mun Rd & Br amount.

^ This designates cash balance (less O/S checks).

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 Commissioner  
 1st District

**JEFF HOUGH**  
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## Business Meeting Agenda Request Form

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Requestor Name:

Alisse Foster

Department:

Planning and Development

Requestor Email:

alissef@bannockcounty.gov

Item(s) to be considered:

Final plat for South Hills Subdivision to be reviewed for approval.

Date of meeting being requested:

05/29/2025

Time requested:

5 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

Other

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Alisse Foster , Hal Jensen, Tristan Bourquin



# PLANNING AND DEVELOPMENT SERVICES

5500 S 5<sup>th</sup> Ave | Pocatello, Idaho 83204 | 208.236.7230 | [www.bannockcounty.us](http://www.bannockcounty.us)

## FINAL PLAT– SOUTH HILLS SUBDIVISION STAFF MEMO

**FILE #:** SFP-24-3  
**LOCATION:** RPRPCPP159400, currently unaddressed.

<b>SURVEYOR:</b>	<b>OWNER:</b>
Sunrise Engineering	Jonathan Vincent
Matt Baker	975 E. Pidcock Road
600 E. Oak Street	Inkom, ID 83245
Pocatello, ID 83201	

**REQUEST & BACKGROUND:** Jonathan Vincent proposes a 19-lot subdivision with the proposed name of South Hills Subdivision. The development proposes to connect to City of Pocatello water and sewer. The total acreage is approximately 12.76 acres with approximately 4.17 acres being included in the subdivision. The buildable lots will be between 0.06 and 1.88 acres in size. At the start of the application process, this subdivision was located 680 feet from the City of Pocatello boundary. On June 25, 2024, this development was annexed into the City of Pocatello.

### FINAL PLAT PROCESS SUMMARY:

**PRE-DEVELOPMENT CONFERENCE:** (SPD230005) Department review letter dated October 13, 2023.

**CONCEPTUAL/MASTER PLAN:** (SCP230004) Approved by Bannock County Planning and Development Council on November 15, 2023. Conditions placed by Council have been reviewed and met.

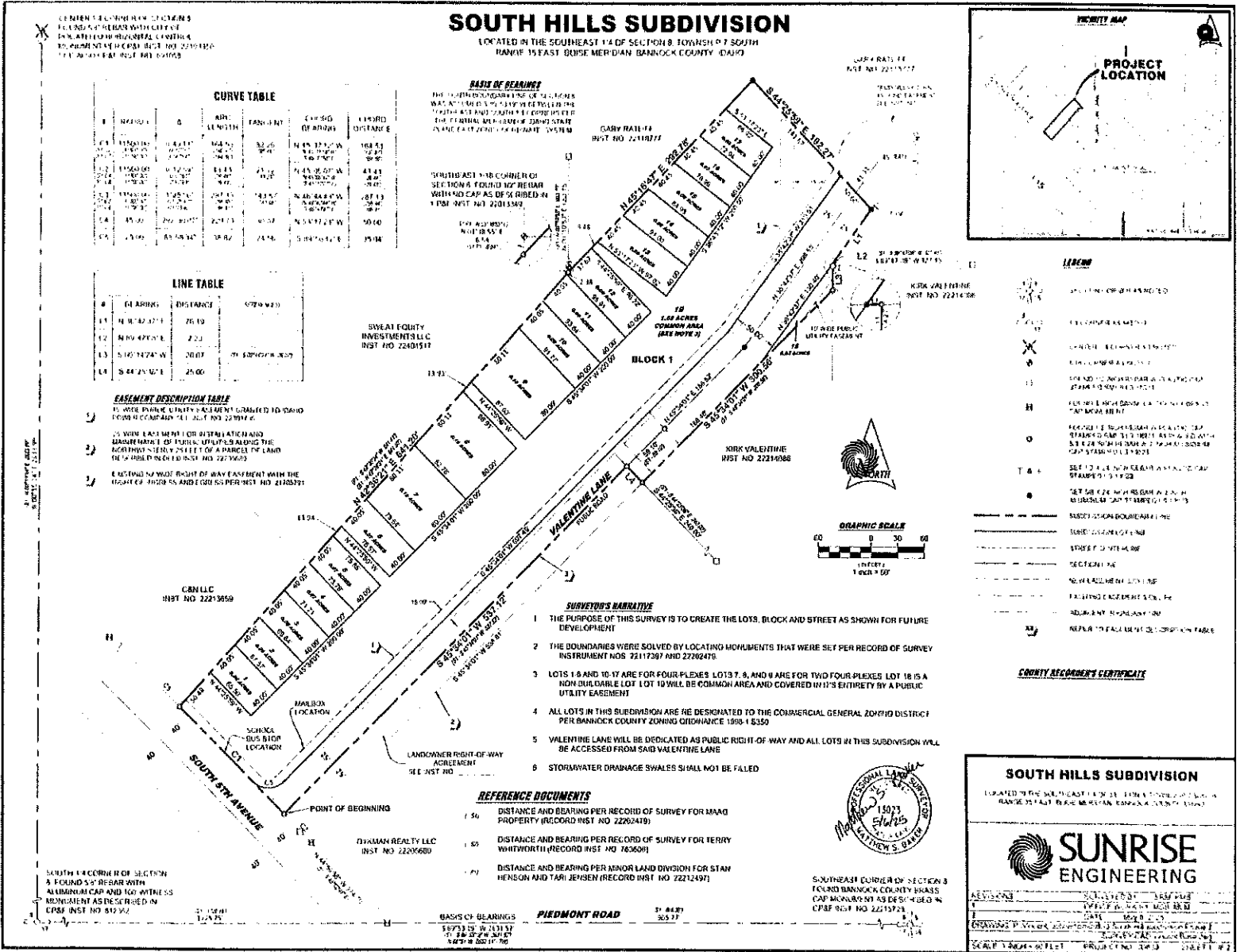
**PRELIMINARY PLAT:** (SPP230008) Approved by Bannock County Planning and Development Council on March 20, 2024. Conditions placed by Council have been reviewed and met.

**FINAL PLAT REVIEW/SURVEYOR PLAT REVIEW:** (SFP-24-3) Reviewed and approved by Adam Thayer on August 5, 2024. Final plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, Paul Bastian and City of Pocatello. A bond was placed with the City of Pocatello for construction and setting interior monuments.

**REPORT BY:**  
Alisse Foster, Subdivision Planner  
[alissef@bannockcounty.gov](mailto:alissef@bannockcounty.gov)

**MEMO DATE:** May 21, 2025

**EXHIBIT:**  
1. Plat







**BANNOCK COUNTY COMMISSIONERS**  
624 E. Center, Pocatello, ID 83201  
Phone: (208) 236-7210 • Fax: (208) 234-7363

**ERNIE MOSER**  
Commissioner  
1st District

**JEFF HOUGH**  
Commissioner  
2nd District

**KEN BULLOCK**  
Commissioner  
3rd District

**AGENDA REQUEST FORM**

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**E-mail this completed form and any supporting documents to [agendarequest@bannockcounty.us](mailto:agendarequest@bannockcounty.us) by NOON on the Thursday prior to the scheduled meeting.**

**Name/Department:**

Alisse Foster / Planning and Development

**Item to be considered/background:**

Final plat for Angileen's Place at Canyon Heights to be reviewed for approval.  
Final plat for Turkey Hollow Subdivision to be reviewed for approval.

**How much time will be needed? Meeting date requested:**

5 min 5/29/25

**Does this item involve a contract, agreement, external funding application or award acceptance?**

YES  NO

**Have all supporting documents been included with this form?**

YES  NO

**List of attendees:**

**Please include any supporting documents with your Agenda Session Request Form.**

Commissioner Office Only:  
Date: 5/29/25 Time: \_\_\_\_\_



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## FINAL PLAT– ANGILEEN’S PLACE AT CANYON HEIGHTS STAFF MEMO

**FILE #:** SFP-24-8  
**LOCATION:** RPRRCNC000500 and RPRRCNC000600, currently unaddressed.

<b>SURVEYOR:</b>	<b>OWNER:</b>
Global Land Works	Geoffrey Williams
Cardon T. Payne	9585 S. Frandsen Road
1823 E. Center Street	Lava Hot Springs, ID 83246
Pocatello, ID 83201	

**REQUEST & BACKGROUND:** Cardon Payne proposes a lot line adjustment on lots 5 and 6 of the Canyon Creek Subdivision. This lot line adjustment consists of 2 lots, with a total of 9.23 acres. The buildable lots will be between 4.69 acres and 4.54 acres in size. This subdivision is located 2.25 miles from the City of Lava Hot Springs boundary.

**FINAL PLAT PROCESS SUMMARY:**

**PRE-DEVELOPMENT CONFERENCE:** (SUPD-22-10) Department review letter dated February 17, 2023.

**CONCEPTUAL/MASTER PLAN:** (SUCP-23-2) Approved by Bannock County Planning and Development Council on June 21, 2023. Conditions placed by Council have been reviewed and met.

**PRELIMINARY PLAT:** (SPP230005) Approved by Bannock County Planning and Development Council on October 18, 2023. Conditions placed by Council have been reviewed and met.

**SURVEYOR PLAT REVIEW/FINAL PLAT REVIEW:** (SFP-24-8) Reviewed and approved by Stewart Ward on February 25, 2025. Final Plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, and Paul Bastian.

**REPORT BY:**  
Alisse Foster, Subdivision Planner  
[alissef@bannockcounty.gov](mailto:alissef@bannockcounty.gov)

**MEMO DATE:** May 23, 2025

**EXHIBIT:**  
1. Plat

# FINAL PLAT OF ANGILEEN'S PLACE AT CANYON HEIGHTS

BEING A REPLAT OF LOTS 5 AND 6 OF CANYON CREEK SUBDIVISION PHASE 1 RECORDED UNDER INSTRUMENT #22211434 PART OF THE EAST HALF OF SECTION 5, TOWNSHIP 10 SOUTH RANGE 38 EAST, OF THE BOISE MERIDIAN IN BANNOCK COUNTY

2606 MOUNTAIN ROAD LLC DEED INSTRUMENT #22105558

2606 MOUNTAIN ROAD LLC DEED INSTRUMENT #22105558

GEOFFREY B WILLIAMS DEED INSTRUMENT #21115474

MONUMENTED BASIS OF BEARING

GEOFFREY B WILLIAMS DEED INSTRUMENT #21118104

LINE	BEARING	DISTANCE
1	N 11° 00' 00" E	111.81
2	S 89° 00' 00" W	219.65
3	N 11° 00' 00" E	111.81
4	S 89° 00' 00" W	219.65
5	N 11° 00' 00" E	111.81
6	S 89° 00' 00" W	219.65
7	N 11° 00' 00" E	111.81
8	S 89° 00' 00" W	219.65
9	N 11° 00' 00" E	111.81
10	S 89° 00' 00" W	219.65
11	N 11° 00' 00" E	111.81
12	S 89° 00' 00" W	219.65

LINE	BEARING	DISTANCE	BEARING	DISTANCE	BEARING	DISTANCE
1	N 11° 00' 00" E	111.81	N 27° 28' 53" E	65.00	N 27° 28' 53" E	65.00
2	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65
3	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81
4	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65
5	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81
6	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65
7	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81
8	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65
9	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81
10	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65
11	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81	N 11° 00' 00" E	111.81
12	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65	S 89° 00' 00" W	219.65

### SURVEYORS NARRATIVE

THE PURPOSE OF THIS SUBDIVISION IS TO ADJUST THE LOT LINE BETWEEN LOTS 5 AND 6R, BLOCK 1 OF CANYON CREEK SUBDIVISION PHASE 1 FILED AS INSTRUMENT NO. 22211434

THE BOUNDARY OF THIS SURVEY WAS DERIVED FROM FOUND MONUMENTS AND RECORD INFORMATION FROM SAID CANYON CREEK SUBDIVISION PHASE 1. THE ADJUSTED LOT LINE BETWEEN LOTS 5 AND 6R WAS CALCULATED BY GEOFFREY WILLIAMS (OWNER).

### BASIS OF BEARING

BASIS OF BEARING PER (LAND STATE) PLANE COORDINATE SYSTEM-EAST ZONE. GPD COORDINATION COMBINED SCALE FACTOR = 0.000000447. MERIDIAN LOCATION NAD83 TO NAD82 W 111.702 03.250007. BANNOCK COUNTY RECORD 22105558.

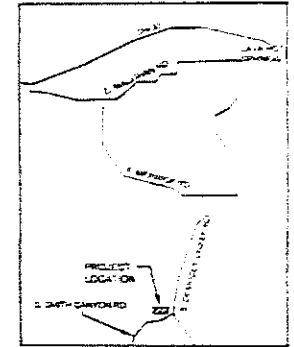
### NOTES

- 1) THE PURPOSE OF THIS PLAT IS TO ADJUST THE COMMON LOT LINE BETWEEN LOTS 5 AND 6R OF CANYON CREEK SUBDIVISION PHASE 1 INSTRUMENT #22211434 TO ALLOW FOR A MORE GRADUAL DRIVEWAY ACCESS INTO LOT 5. MORNINGTON DRIVE WAS RENAMED TO ANGILEEN'S WAY PURSUANT TO INSTRUMENT NO. 22412364.
- 2) ANGILEEN'S WAY IS ENCOMPASSED BY A 30.00' WIDE EASEMENT THAT IS DESIGNATED FOR ALL ADJACENT LOT OWNERS FOR ACCESS AND PUBLIC UTILITIES AS DEDICATED ON CANYON CREEK SUBDIVISION PHASE 1 INSTRUMENT NO. 22211434.
- 3) PER THE BANNOCK COUNTY SUBDIVISION ORDINANCE 1997-4 SECTION 406.B, ALL LOTS THAT HAVE SLOPES IN EXCESS OF 20% GRADE OVER MORE THAN 25% OF THE LOT, MUST BE RESTRICTED AND ARE MARKED WITH AN "X" ON THIS DOCUMENT.
- 4) LOTS IN THIS SUBDIVISION WILL BE SERVED BY INDIVIDUAL SEPTIC SYSTEMS.
- 5) LOTS IN THIS SUBDIVISION WILL BE SERVED BY INDIVIDUAL WELLS PER IWR.
- 6) A CROSS ACCESS EASEMENT GRANTED TO LOT 5 FOR A SHARED DRIVEWAY APPROACH TO ANGILEEN'S WAY.
- 7) LOTS IN THIS SUBDIVISION ARE NOT PERMITTED DIRECT ACCESS TO SMITH CANYON ROAD.
- 8) STORM WATER SHALL BE RETAINED ON INDIVIDUAL LOTS.
- 9) ALL DRIVEWAYS SHALL BE BUILT TO COUNTY STANDARDS.
- 10) ANGILEEN'S WAY WAS DESIGNATED A COUNTY MAINTAINED ROAD PURSUANT TO INSTRUMENT NO. 22412364.
- 11) OPEN SPACE SHALL BE DEED-RESTRICTED AGAINST FURTHER DEVELOPMENT BUT IT MAY BE FARMED, TIMBERED, ETC., AS SPECIFIED AND APPROVED BY THE BANNOCK COUNTY PLANNING AND DEVELOPMENT COUNCIL.

### REFERENCES

- 1) CANYON CREEK SUBDIVISION DIVISION NO. 1 INSTRUMENT NO. 22211434
- 2) GPS AS SHOWN ON THE FACE OF THIS PLAT
- 3) DEEDS AS SHOWN ON THE FACE OF THIS PLAT
- 4) SURVEYS AS SHOWN ON THE FACE OF THIS PLAT
- 5) MORNINGTON DRIVE ROAD DESIGNATION INSTRUMENT NO. 22402128
- 6) MORNINGTON DRIVE NAME CHANGE TO ANGILEEN'S WAY INSTRUMENT NO. 22412364

### VICINITY MAP



### LEGEND



- CENTER QUARTER CORNER AS NOTED
- QUARTER CORNER AS NOTED
- FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PLS 1005"
- FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "PLS 15007"
- SET 1/2" REBAR WITH PLASTIC CAP STAMPED "PLS 15002"
- CALCULATED POSITION (NOTHING FOUND, NOTHING SET)
- PARCEL BOUNDARY
- SECTION LINE
- LOT LINE
- EASEMENT
- EXISTING EASEMENT
- DIMENSIONAL TIE LINE
- ADJOINING PARCEL LINES
- EXISTING OPEN SPACE BOUNDARY
- EXISTING OPEN SPACE



**GLOBAL LAND WORKS**

1203 East Center Street, Pocatello, Idaho 83201 Phone: 208 242.6153  
 geoffreywilliams@global.com geoffreywilliams.com

ANGILEEN'S PLACE AT CANYON HEIGHTS

Drawn By: G. PAYNE      Scale: 1" = 100'

Date: 4/5/2025      Proj#: 22211434





# PLANNING AND DEVELOPMENT SERVICES

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## FINAL PLAT– TURKEY HOLLOW SUBDIVISION STAFF MEMO

**FILE #:** SFP-25-3  
**LOCATION:** RPRRCHS000600, currently addressed as 906 E. Pidcock Road, Inkom, ID 83245 and RPRRCHS000700, currently unaddressed.

<b>SURVEYOR:</b>	<b>OWNER:</b>
Dioptra Stewart Ward 4880 Clover Dell Road Pocatello, ID 83202	Brett Robison Management LLC 906 E. Pidcock Road Inkom, ID 83245

**REQUEST & BACKGROUND:** Stewart Ward proposes an amendment to Coyote Hollow Subdivision for the purpose of adjusting a lot line. The existing lots are 5.00 acres with 2.78 acres of open space and 5.00 acres with 3.19 acres of open space. After the proposed adjustment, the lots will be 6.42 acres with 4.19 acres of open space and 3.58 acres with 1.78 acres of open space. The development proposes individual well and septic systems. This subdivision is located ~ 1.5 miles from the city of Inkom boundary.

### FINAL PLAT PROCESS SUMMARY:

**PRE-DEVELOPMENT CONFERENCE:** (SPD-24-5) Department review letter dated August 30, 2024.

**CONCEPTUAL/MASTER PLAN:** (SCP-24-6) Approved by Bannock County Planning and Development Council on October 16, 2024. Conditions placed by Council have been reviewed and met.

**PRELIMINARY PLAT:** (SPP-24-9) Approved by Bannock County Planning and Development Council on January 15, 2025. Conditions placed by Council have been reviewed and met.

**FINAL PLAT REVIEW/SURVEYOR PLAT REVIEW:** (SFP-25-3) Reviewed and approved by Matt Baker on April 10, 2025. Final plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, and Paul Bastian.

**REPORT BY:**  
 Alisse Foster, Subdivision Planner  
[alissef@bannockcounty.gov](mailto:alissef@bannockcounty.gov)

**MEMO DATE:** May 22, 2025

**EXHIBIT:**  
 1. Plat



BOARD OF BANNOCK COUNTY COMMISSIONERS' - MEETING  
TURKEY HOLLOW SUBDIVISION

THURSDAY, MAY 29, 2025

A REPLAT OF LOTS 6 & 7, BLOCK 1, COYOTE  
HOLLOW SUBDIVISION, INSTR. #22504250  
LOCATED IN THE 1/4 SECTION 26,  
TOWNSHIP 7 NORTH, RANGE 26 EAST, OF THE  
BOYSE MERIDIAN, IN THE COUNTY OF BANNOCK

BOUNDARY DESCRIPTION

That to and from Coyote Hollow Subdivision, INSTR. #22504250, located in Section 26, Township 7 North, Range 26 East, Boise Meridian, Bannock County, Idaho, more particularly described as:

Commence at a point in the Northwest corner of Section 26, Boise Meridian, Bannock County, Idaho, being the Northern corner of Block 1 of Coyote Hollow Subdivision, as shown on the plat of said subdivision;

Thence S 00° 00' 00" W 100.00 feet along the Eastern right-of-way of said Subdivision Road;

Thence S 00° 00' 00" W 40.00 feet along the Northern right-of-way of said road to a point of beginning;

Thence S 00° 00' 00" W to the left of 77 feet (Curve Data: Radius = 50.00', Length = 22.2147 feet, Chord = 21.1178', W 12.144° to a reverse curve to the right;

Thence S 00° 00' 00" W to the right of 45 feet (Curve Data: Radius = 20.00', Length = 48.9417 feet, Chord = 27.9624', W 14.90°);

Thence N 89° 00' 00" W 100.00 feet along the Northern right-of-way of East Patrick Road in the southwest part of Block 1 of Coyote Hollow Subdivision;

Thence N 00° 00' 00" W 144.80 feet along the West line of said Lot 6 to the Northwest corner of said Lot 6;

Thence S 90° 00' 00" W 64.80 feet along the North line of Lot 6 and Lot 7 of Coyote Hollow Subdivision to the Point of Beginning;

Partial section 1/4 NE 1/4 area.

ACKNOWLEDGEMENT

STATE OF IDAHO  
COUNTY OF BANNOCK

On this 30 day of April, 2025, before me, a Notary Public in and for the State of Idaho, personally appeared Brett Robinson, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same as therein contained. I have hereunto set my hand and affixed my notarial seal the day and year in the certificate first above written.

Brett Robinson  
Brett Robinson

2-17-2026  
MY COMMISSION EXPIRES



OWNER'S CERTIFICATE

I, the undersigned owner of the tract of land described in the boundary description herein, do hereby certify that the same to be replatted into a block and lots, as shown on the hereby attached plat, and that the County of Bannock, Bannock County, Idaho, is responsible for the maintenance of the public right-of-way of the land described in the boundary description of this plat. The location and construction of the block and lots are to be shown on the accompanying plat of this property. The easements shown are not dedicated to the public for use of said easements, and are hereby perpetually reserved for future utility, roadway, drainage, storage and parking, or any other use designated in the plat, and no structures other than those for such utility purposes are to be erected within the lines of said easements.

Brett Robinson  
Brett Robinson  
Brett Robinson Management LLC  
Robison

IRRIGATION CERTIFICATE

It has been determined that the property included in this subdivision is not located within the boundaries of an existing irrigation district. Lots within this subdivision will not receive an irrigation water right.

COUNTY CERTIFICATE

This plat was duly accepted and approved by resolution of the Board of County Commissioners on this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Chairman of the Board - Jeff Hough County Clerk - Jason Dixon

Reviewing County Engineer - J. Paul Bastian, PE 7257

RESTRICTIVE COVENANTS

The articles of protective covenants for Turkey Hollow Subdivision, recorded as Instr. #22504250, are hereby made a part of this plat.

COUNTY EXAMINING SURVEYOR'S CERTIFICATE

I, Matthew S. Baker, an Examining Surveyor in and for Bannock County do hereby certify that I have checked this plat and computations shown hereon and have determined that the requirements of Idaho Code 50-1305 have been met. I approve the same for filing this 19 day of May, 2025.

Matthew S. Baker  
Matthew S. Baker PLS #13023

COUNTY TREASURER'S CERTIFICATE

Payment of the 2025 taxes of the land shown on this plat is hereby certified to have been received by the County Treasurer of Bannock County, Idaho.

Jason Dixon  
County Treasurer

HEALTH DEPARTMENT CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 16, Chapter 14 have been outside of sanitary restrictions may be imposed in accordance with Section 16-152b, Idaho Code, by the issuance of a certificate of approval.

Jason Dixon  
Health District Supervisor

SURVEYORS CERTIFICATE

I, Stewart K. Ward, a Licensed Professional Land Surveyor in the State of Idaho do hereby certify that a survey was made under my direction of the premises described in the boundary description and shown on this plat, and which this certificate appears. Further, that this plat was prepared under my direction and that the monumentation shown conforms with that set out on the ground and that the pertinent portion of the Idaho Code, Idaho, together with all local ordinances thereunder, complied with.

Stewart K. Ward  
Stewart K. Ward, License No. 10217



COUNTY RECORDERS CERTIFICATE

DIOPTRA  
Turkey Hollow Subdivision  
Drawn by: [ ] Date: [ ]  
Date: 04-29-2025

## BANNOCK COUNTY COMMISSIONERS

624 E. Center, Pocatello, ID 83201  
 Phone: (208) 236-7210 • Fax: (208) 232-7363



ERNIE MOSER  
 Commissioner  
 1st District

JEFF HOUGH  
 Commissioner  
 2nd District

KEN BULLOCK  
 Commissioner  
 3rd District

## Business Meeting Agenda Request Form

The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:15 a.m.** in the Commissioners' Chambers in the Bannock County Courthouse, Room 212; 624 E Center Pocatello, Idaho or as noticed **48 hours** prior to the meeting at <https://bannockcounty.us/commissioners/>. The Commissioners also hold meetings throughout the week as coordinated with the Commissioners' staff. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special accommodations to participate in public meetings should contact the Commissioners' Office at 208-236-7210, three to five working days before the meeting.

Requestor Name:

Dillon Evans

Department:

Solid Waste

Requestor Email:

Dillone@bannockcounty.gov

Item(s) to be considered:

Landfill Entrance Facility Design

Date of meeting being requested:

05/29/2025

Time requested:

15 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

No

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Stephanie Wilke



**PROJECT LOCATION**

**PLANS PREPARED FOR:**

NAME, TITLE  
TOWN NAME OR WASTEWATER DISTRICT NAME

**APPROVED BY:**

STEPHANIE WILKE, P.E.  
GREAT WEST ENGINEERING

**QA/QC BY:**

TRAVIS CRAIG, P.E.  
GREAT WEST ENGINEERING

**PLANS PREPARED BY:**

STETSON RATZLAFF, EI  
BRET ANDERSON



# BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN

## CONSTRUCTION PLANS

SECTIONS 28 & 29, TOWNSHIP 7 S., AND RANGE 35 E.



NOT TO SCALE

### SHEET INDEX

PROJECT 1-23205  
DATE MAY 19, 2025

SHEET 1	COVER
SHEET 2	GENERAL
SHEET 3	EXISTING SITE PLAN
SHEET 4	PROPOSED SITE PLAN
SHEET 5	PROPOSED INFIELD GRADING PLAN
SHEET 6	ENTRANCE ROAD PLAN & PROFILE
SHEET 7	ENTRANCE ROAD PLAN & PROFILE
SHEET 8	ENTRANCE ROAD PLAN & PROFILE
SHEET 9	ROAD TYPICAL SECTIONS
SHEET 10	
SHEET 11	
SHEET 12	SCALE PLAN
SHEET 13	SCALE DETAILS
SHEET 14	DETAILS
SHEET 15	DETAILS
SHEET 16	Z-WALL DETAILS
SHEET 17	Z-WALL SAFETY FENCE DETAILS
SHEET 18	KIOSK POLE DETAILS
SHEET 19	SIGNAGE
SHEET 20	SIGNAGE

NO	REVISION DESCRIPTION	BY	DATE	SET NO
△				
△				
△				
△				
△				
				SHEET NO
				<b>1</b>

Y:\Shared\Helena Projects\1-23205-Bannock County Landfill Scale House\CADD 1-23205\Sheets\1-23205-01-Cover.dwg

**ABBREVIATIONS**

Δ	ANGLE OF DEFLECTION, DELTA ANGLE	LPQ	LIQUID PROPANE GAS
∠	ANGLE POINT	LT	LEFT
AB	ANCHOR BOLT	MAX	MAXIMUM
ABDN	ABANDON	MD	MEASURE DOWN
AC	ASBESTOS CONCRETE	MFD	MANUFACTURED
ADDN	ADDITIONAL	MFR	MANUFACTURE, MANUFACTURER
ADJ	ADJACENT	MH	MANHOLE
AL	ALTERNATE	MIN	MINIMUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MJ	MECHANICAL JOINT
APVD	APPROVED	MOV	MOTOR OPERATED VALVE
ARCH	ARCHITECTURE, ARCHITECTURAL	MPS	MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS
ASPH	ASPHALT	N	NORTH
AVE	AVENUE	NE	NORTHEAST
AVG	AVERAGE	NG	NATURAL GAS
BFLV	BUTTERFLY VALVE	NTC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BLK	BLOCK	NOM	NOMINAL
BLVD	BOULEVARD	NTS	NOT TO SCALE
BM	BEAM, BENCHMARK	NW	NORTHWEST
BOT	BOTTOM	OC	ON CENTER
BRG	BEARING	OD	OUTSIDE DIAMETER
BRKT	BRACKET	OH	OVERFLOW
BVC	BEIGN VERTICAL CURVE	OHP	OVERHEAD POWER
C-C	CENTER TO CENTER	OHT	OVERHEAD TELEPHONE
CHAN	CHANNEL	OPNG	OPENING
CHK	CHECK	PC	POINT OF CURVATURE
C	CAST IRON	PCC	POINT OF COMPOUND CURVATURE
CPKC	CAST-IN-PLACE CONCRETE	PE	PLAIN END, POLYETHYLENE
CRCL	CIRCULAR	PERP	PERPENDICULAR
CJ	CONSTRUCTION JOINT, CONTROL JOINT	PI	POINT OF INTERSECTION
CL	CLEARANCE	P	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PNL	PANEL
CMU	CONCRETE MASONRY UNITS	PRC	POINT OF REVERSE CURVATURE
CO	COLUMN	PRFAB	PREFABRICATED
COL	CONCRETE	PREP	PREPARE, PREPARATION
CONSTR	CONSTRUCTION	PROP	PROPERTY
CONT	CONTINUE, CONTINUED, CONTINUOUS	PRV	PRESSURE REDUCING VALVE
CONTR	CONTRACTOR	PSF	POUNDS PER SQUARE FOOT
COORD	COORDINATE	PSI	POUNDS PER SQUARE INCH
CP	CONTROL PANEL, CONTROL POINT	PT	POINT, POINT OF TANGENCY
CPLG	COUPLING	PVC	POLYVINYL CHLORIDE
CTR	CENTER	PVI	POINT OF VERTICAL INTERSECTION
CU	CUBIC, COPPER	PVMT	PAVEMENT
CF	CUBIC FEET	R, RAD	RADIUS
CULV	CULVERT	RC	REINFORCED CONCRETE
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
DET	DETAIL	RD	ROAD
DI	DUCTILE IRON, DRAIN INLET	RDCR	REDUCER
DIA, ∅	DIAMETER	REBAR	REINFORCEMENT BAR
DIAG	DIAGONAL	REF	REFERENCE
DM	DIMENSION	RENF	REINFORCE
DR	DRIVE	REQD	REQUIRED
DWG	DRAWING	RR	RAILROAD
E	EAST	RST	REINFORCING STEEL
EA	EACH	RT	RIGHT
EL, ELEV	ELEVATION	R/W	RIGHT-OF-WAY
ELB	ELBOW	S	SOUTH, SANITARY SEWER
ELEC	ELECTRIC, ELECTRICAL	SAN	SANITARY
ENCL	ENCLOSE	SCH	SCHEDULE
ENGR	ENGINEER	SD	STORM DRAIN
EOP	EDGE OF PAVEMENT	SDWK	SIDEWALK
EQ	EQUAL, EQUALLY	SE	SOUTHEAST
EQ SP	EQUALLY SPACED	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FOOT
EQUIV	EQUIVALENT	SHT	SHEET
EVC	END VERTICAL CURVE	SIM	SIMILAR
EW	EACH WAY	SLP	SLOPE
EXC	EXCAVATE	SPEC	SPECIFICATION
EXP	EXPANSION	SQ	SQUARE
EXP JT	EXPANSION JOINT	SSTL	STAINLESS STEEL
EXST	EXISTING	STA	STATION
FCV	FLOW CONTROL VALVE	SS	SANITARY SEWER SERVICE
FD	FLOOR DRAIN	STD	STANDARD
FDN	FOUNDATION	STL	STEEL
FES	FLARED END SECTION	STRUCT	STRUCTURE
FET	FLARED END TERMINAL	SW	SOUTHWEST
FF	FINISHED FLOOR	SYM	SYMMETRICAL
FG	FINISH GRADE	TB	THRUST BLOCK
PHYD	FIRE HYDRANT	TBC	TOP BACK OF CURB
FJ	FLANGE JOINT	TM	TEMPORARY BENCH MARK
FL	FLOW LINE	TEL	TELEPHONE
FLEX	FLEXIBLE	TEMP	TEMPORARY
FM	FORCEMAIN	THRU	THROUGH
FT	FOOT, FEET	TYP	TYPICAL
FO	FOOTING, FITTING	UG	UNDERGROUND
FTG	FOOTING, FITTING	UGP	UNDERGROUND POWER
G	NATURAL GAS	UGT	UNDERGROUND TELEPHONE
GA	GAGE, GAUGE	UTL	UTILITY
GAL	GALLON	V	VALVE, VOLT
GALV	GALVANIZED	VB	VALVE BOX
GND	GROUND	VERT	VERTICAL
GVL	GRAVEL	VOL	VOLUME
HB	HOSE BIB	W	WEST, WATER
HDPPE	HIGH DENSITY POLYETHYLENE	WTR	WATER
HOR, HORIZ	HORIZONTAL	WD	WOOD
HWY	HIGHWAY	WTH	WITH
HYD	HYDRANT	W/O	WITHOUT
ID	INSIDE DIAMETER	WM	WIRE MESH, WATER METER
IE	INVERT ELEVATION	WS	WEIGHT, WATER SURFACE, WATER SERVICE
IN	INVERT	WT	WEIGHT
INV	INVERT	WV	WATER VALVE
JB	JUNCTION BOX	WVF	WELDED WIRE FABRIC
JT	JOINT	WWM	WELDED WIRE MESH
K	RATE OF VERTICAL CURVATURE	XFMR	TRANSFORMER
LBS	POUNDS	X-ING	CROSSING
LF	LINEAR FEET	XS	CROSS SECTION
LN	LANE	YD	YARD

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	---	MAJOR CONTOUR	○	○	STUMP
---	---	MINOR CONTOUR	○	○	SHRUB/BUSH
---	---	OVERHEAD TELEPHONE	☀	☀	TREE-CONIFER
---	---	UNDERGROUND TELEPHONE	☀	☀	TREE-DECIDUOUS
---	---	CABLE TELEVISION	☀	☀	TREE LINE
---	---	FIBER OPTIC	○	○	COMMUNICATION MANHOLE
---	---	NATURAL GAS	○	○	COMMUNICATION VAULT
---	---	OVERHEAD POWER	○	○	TELEPHONE RISER
---	---	UNDERGROUND POWER	○	○	CABLE TV RISER
---	---	SANITARY SEWER	○	○	NATURAL GAS METER
---	---	SANITARY SEWER SERVICE	○	○	NATURAL GAS RISER
---	---	SANITARY SEWER FORCEMAIN	○	○	NATURAL GAS VALVE
---	---	STORM DRAIN	○	○	LIGHT POLE
---	---	STORM CULVERT	○	○	STREET LIGHT POLE
---	---	WATER	○	○	POWER RISER
---	---	WATER SERVICE	○	○	PAD MOUNTED TRANSFORMER
---	---	CHAINLINK FENCE	○	○	POWER VAULT
---	---	BARBED WIRE FENCE	○	○	UTILITY POLE
---	---	WOOD FENCE	○	○	GUY WIRE
---	---	PAVED ROAD	○	○	SANITARY MANHOLE
---	---	GRAVEL ROAD	○	○	SANITARY CLEANOUT
---	---	PROPERTY/LDT LINE	○	○	SANITARY LAMPHOLE
---	---	PROPERTY EASEMENT	○	○	STORM MANHOLE
---	---	PROPERTY SETBACK	○	○	STORM ROUND INLET
---	---	RIGHT-OF-WAY	○	○	STORM SQUARE INLET
---	---	CITY LIMIT/DISTRICT BOUNDARY	○	○	STORM CATCH BASIN
---	---	RAILROAD	○	○	11.25' ELBOW
---	---	DITCH	○	○	22.50' ELBOW
---	---	WATER EDGE	○	○	45' ELBOW
---	---	WETLAND	○	○	90' ELBOW
---	---	BUILDING	○	○	TEE
---	---	BENCHMARK	○	○	CROSS
---	---	CONTROL POINT	○	○	CAP
---	---	PROPERTY PIN	○	○	FIRE HYDRANT
---	---	BORING	○	○	GATE VALVE
---	---	MONITORING WELL	○	○	REDUCER
---	---	TEST PIT	○	○	WATER METER
---	---	BOLLARD	○	○	WELL
---	---	MAIL BOX	○	○	CURB STOP
---	---	SIGN	○	○	FROST FREE HYDRANT

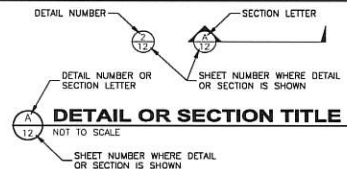
**GENERAL NOTES:**

1. THIS IS A STANDARD LEGEND AND ABBREVIATION LIST. THEREFORE, NOT ALL SYMBOLS AND ABBREVIATIONS MAY BE USED ON THIS PROJECT.
2. UNLESS MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK WILL CONFORM TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION (REFERRED TO COLLECTIVELY AS ISPCWC).
3. EXISTING UNDERGROUND UTILITIES SHOWN ARE FROM THE BEST INFORMATION AVAILABLE. THIS INFORMATION IS APPROXIMATE AND MAY BE INCOMPLETE. FOR ACCURATE LOCATION, THE CONTRACTOR SHALL CONTACT, PRIOR TO EXCAVATION, THE UTILITIES UNDERGROUND LOCATION CENTER AT: 1-800-342-1585 OR 811.

**PROJECT NOTES:**

1. NOTES

**GENERAL DESIGN DESIGNATIONS:**



NO.	REVISED DESCRIPTION	BY	DATE

PROJECT: 1-23205  
 DESIGNED: BAA  
 DRAWN: STR/BAA  
 CHECKED: TLC  
 APPROVED: BMV  
 DATE: MAY 19, 2025

**DRAFT**

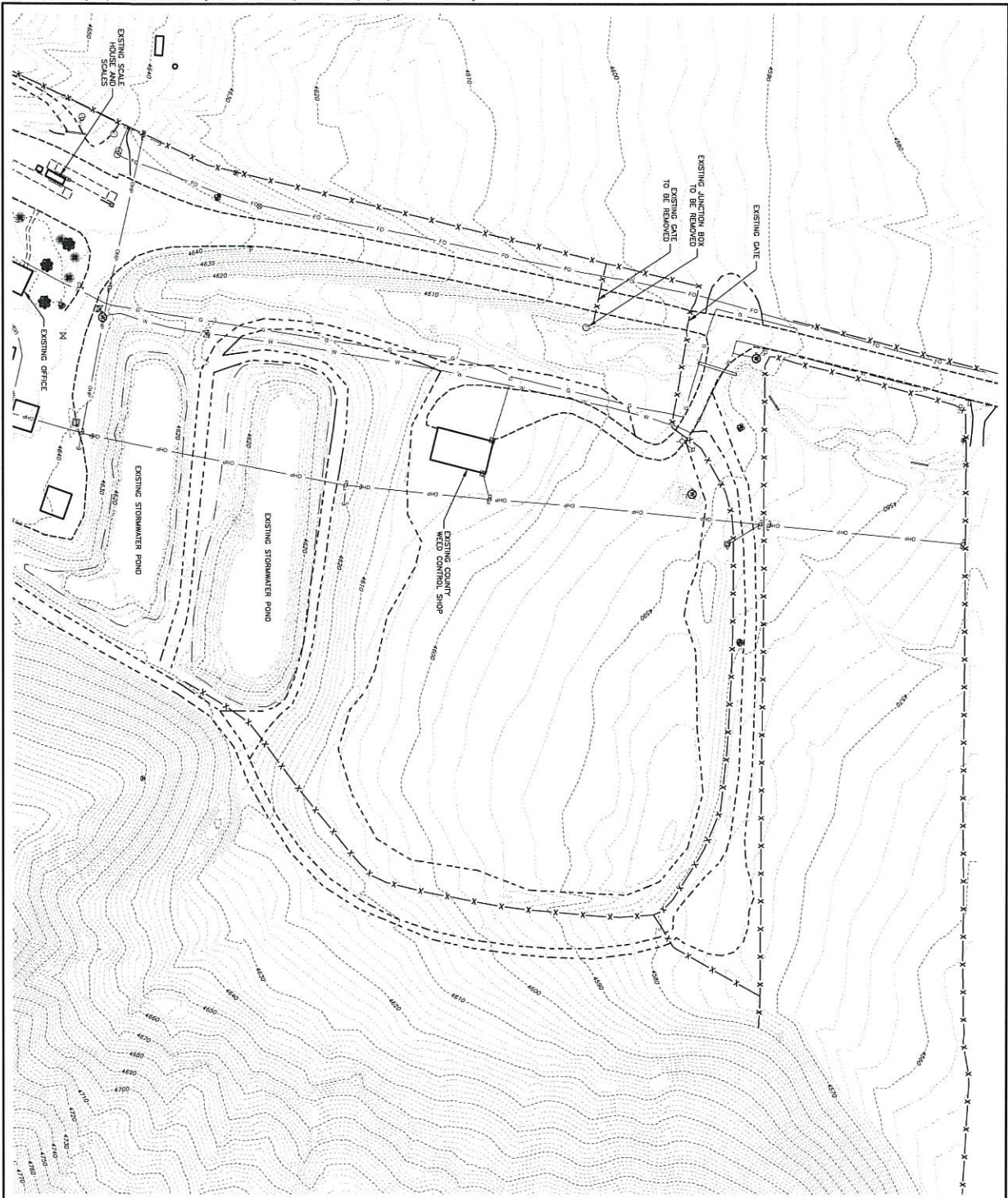
**Great West**  
 ENGINEERING & SURVEYING  
 2500 N. HARRIS AVE. SUITE 100  
 TULSA, OK 74104

**BANNOCK COUNTY LANDFILL  
 ENTRANCE FACILITY DESIGN**

GENERAL

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3  
SHEET NO.  
OF 20

**BANNOCK COUNTY LANDFILL  
ENTRANCE FACILITY DESIGN**

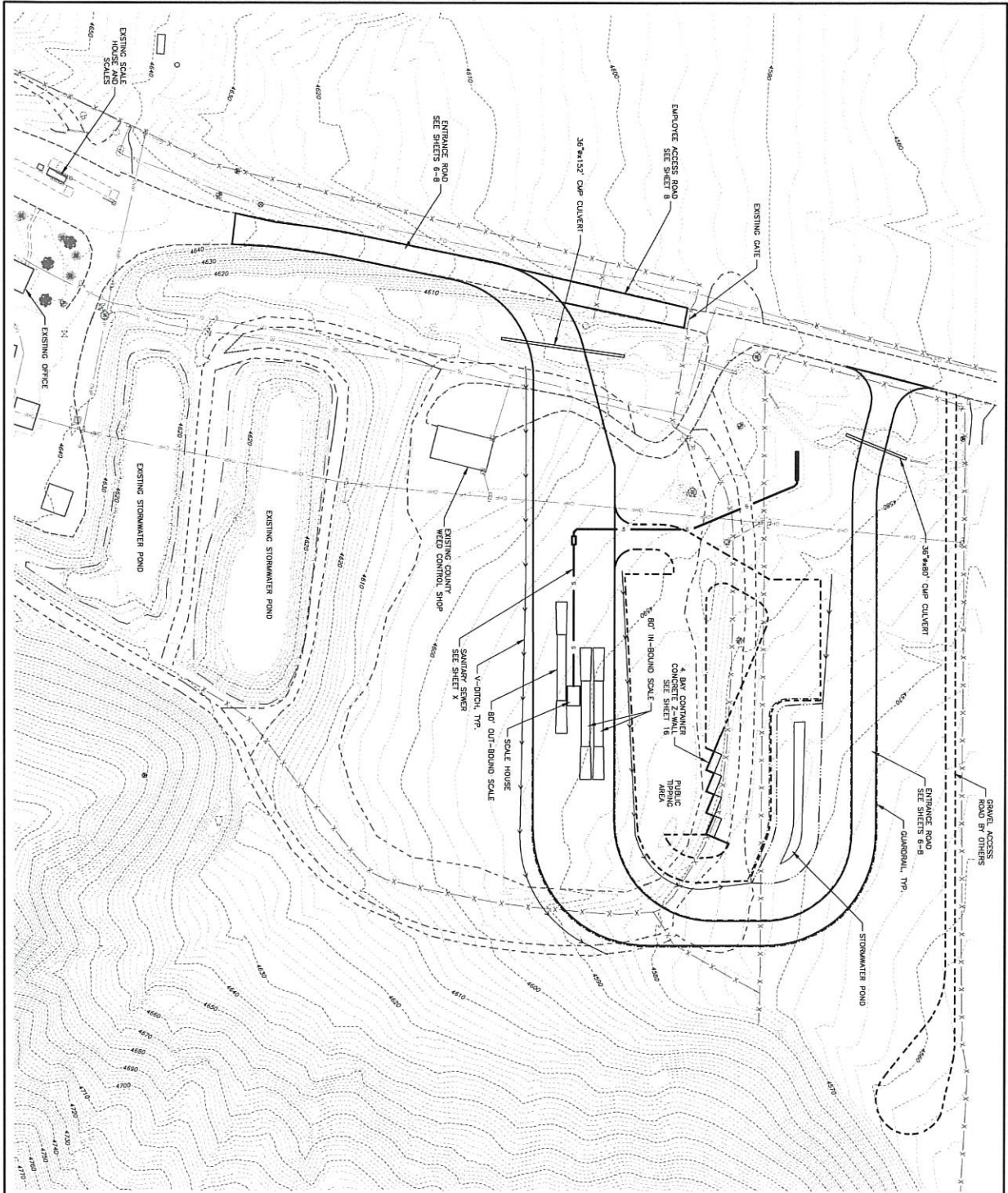
EXISTING SITE PLAN



**DRAFT**

PROJECT	NO	REVISION DESCRIPTION	BY	DATE
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DESIGNED BAA	△			
DRAWN STR/BAA	△			
CHECKED TLC	△			
APPROVED BMW	△			
DATE MAY 16, 2025	△			

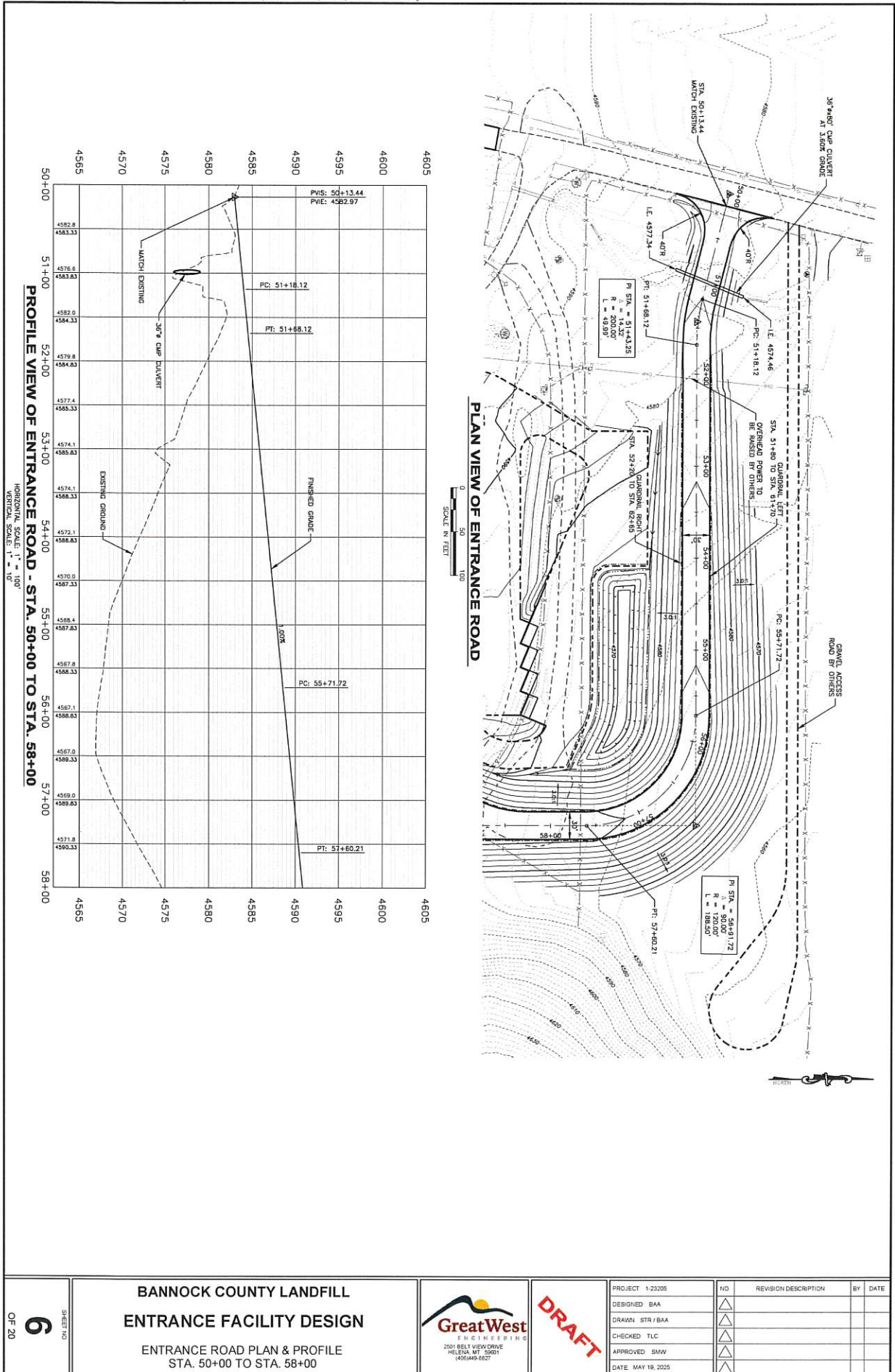
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<p>4 OF 20</p>	<p><b>BANNOCK COUNTY LANDFILL</b> <b>ENTRANCE FACILITY DESIGN</b></p>		<p>2501 BELT VIEW DRIVE HELENA, MT 59601 406.448.8622</p>	<p><b>DRAFT</b></p>	PROJECT: 1-23205	NO.	REVISION DESCRIPTION	BY	DATE	
	<p>PROPOSED SITE PLAN</p>				DESIGNED: BAA	△				
					DRAWN: STR / BAA	△				
					CHECKED: TLC	△				
					APPROVED: EMW	△				
		DATE: MAY 19, 2025	△							



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6  
OF 20

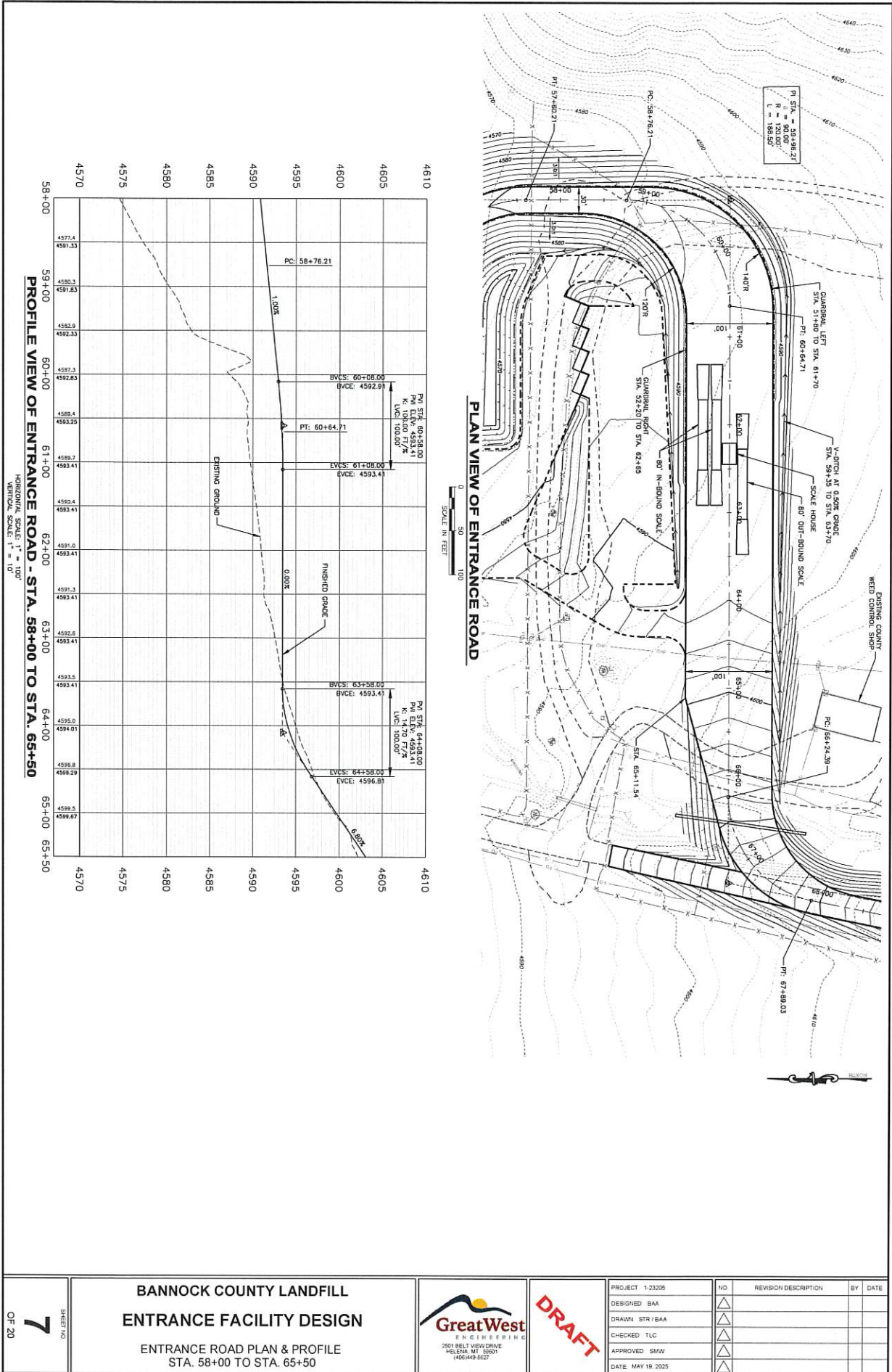
**BANNOCK COUNTY LANDFILL**  
**ENTRANCE FACILITY DESIGN**  
 ENTRANCE ROAD PLAN & PROFILE  
 STA. 50+00 TO STA. 58+00

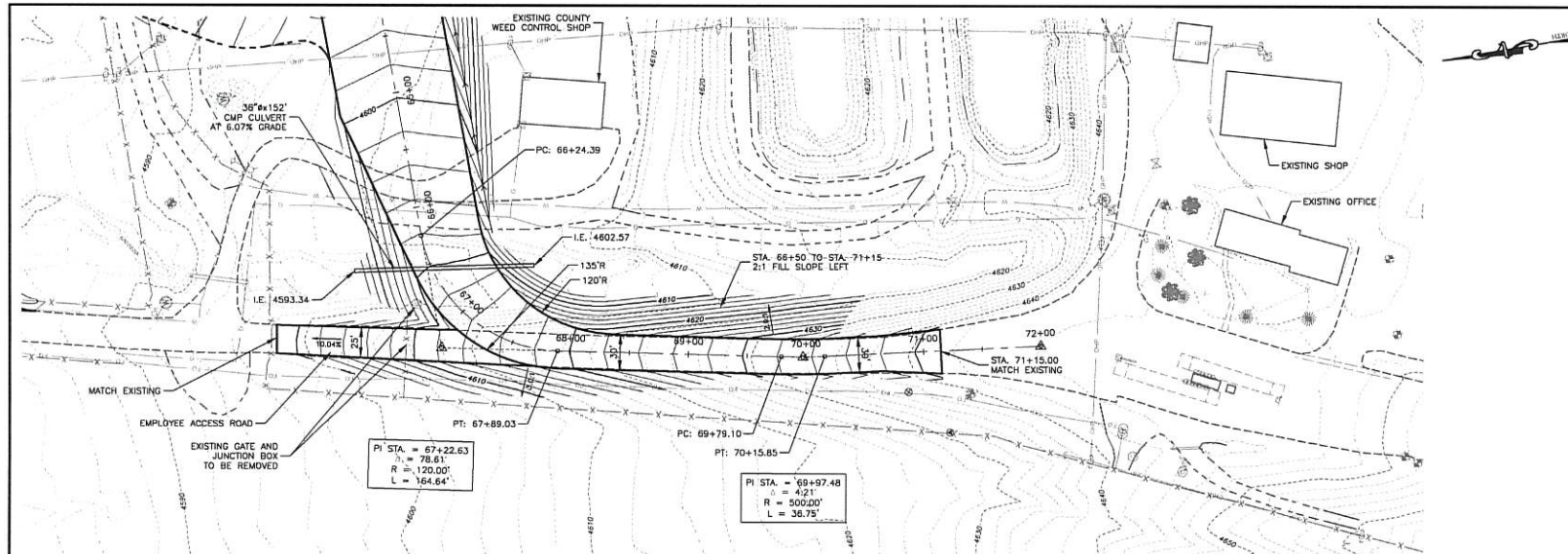


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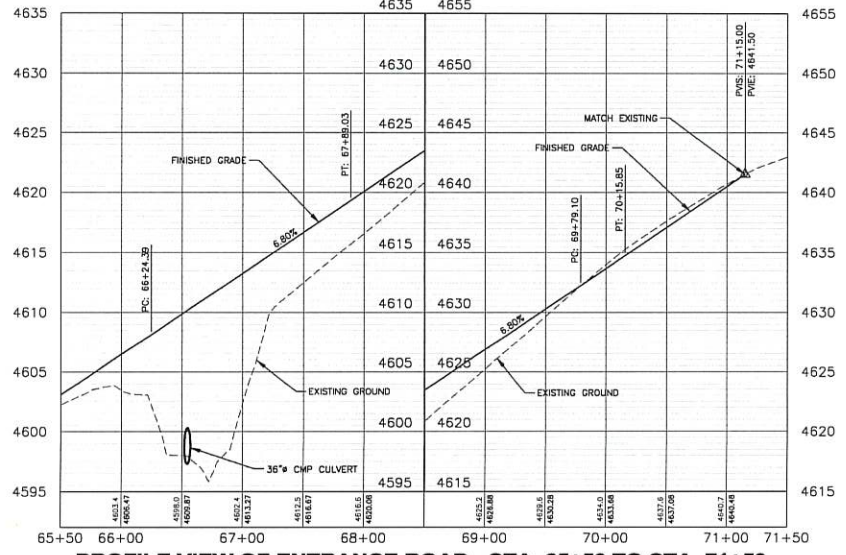
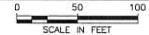
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1-23205	1	DESIGNED BAA		
	2	DRAWN STR / BAA		
	3	CHECKED TLC		
	4	APPROVED SMW		
DATE: MAY 19, 2025				

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**PLAN VIEW OF ENTRANCE ROAD**



**PROFILE VIEW OF ENTRANCE ROAD - STA. 65+50 TO STA. 71+50**

HORIZONTAL SCALE: 1" = 100'  
VERTICAL SCALE: 1" = 10'

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NO.	REVISION DESCRIPTION	BY	DATE
PROJECT: 1-23305	DESIGNED: BAA	DATE: MAY 19, 2025	
	DRAWN: STR/BAA		
	CHECKED: TJC		
	APPROVED: BAA		

DRAFT

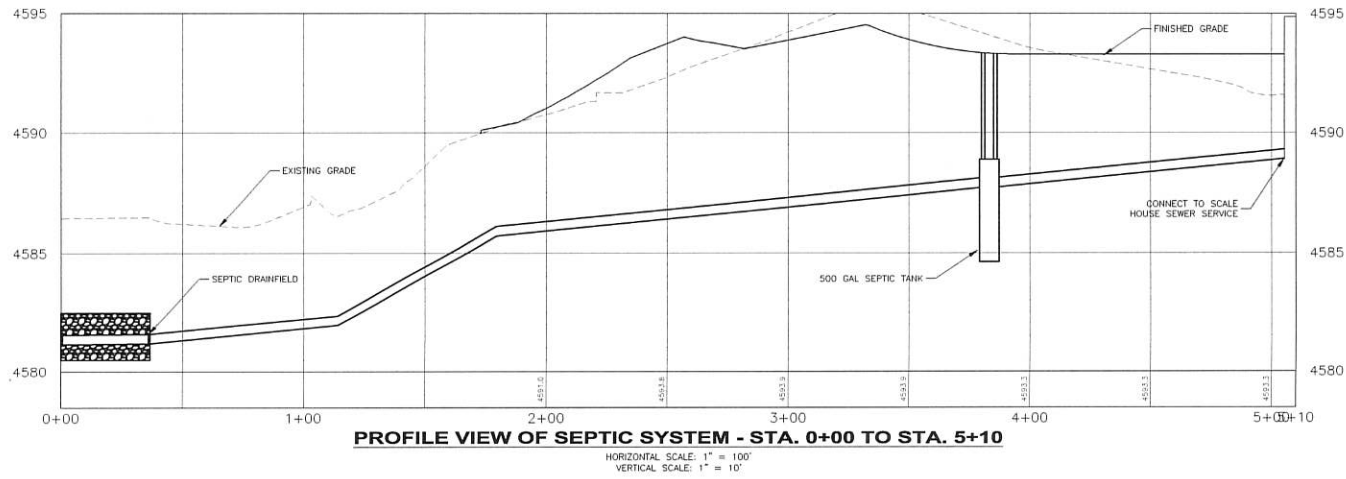
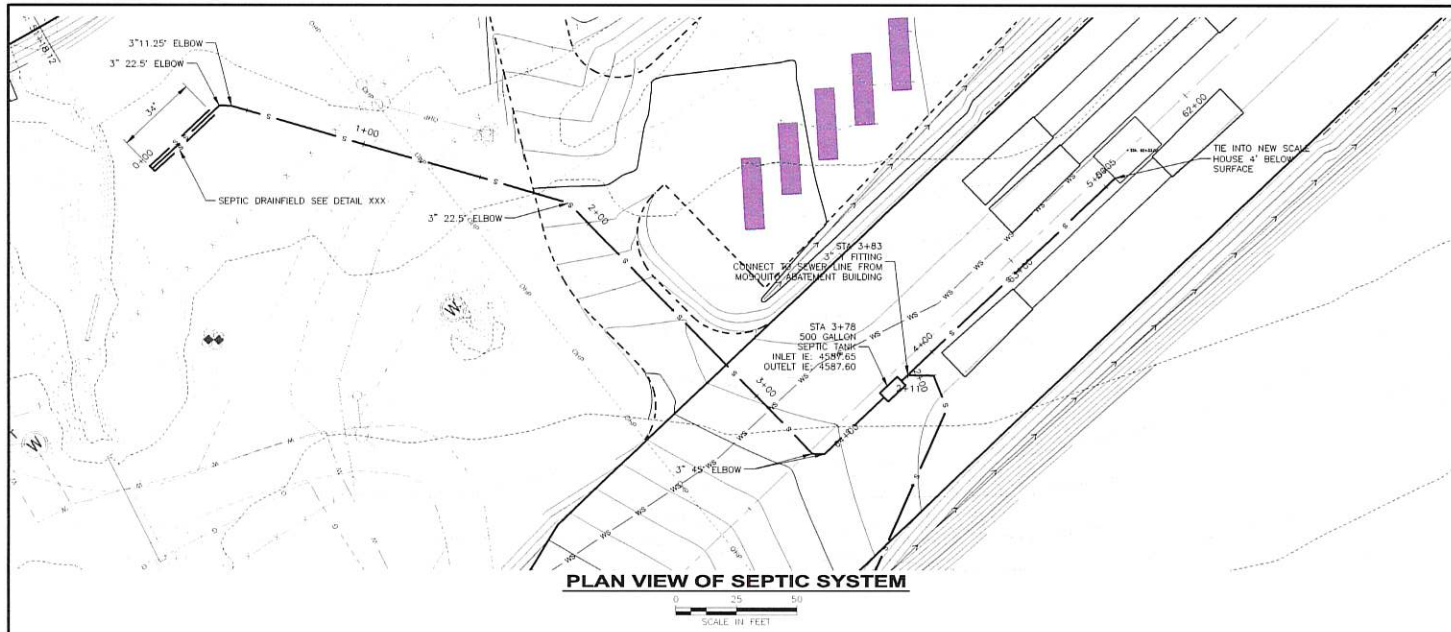
  
**Great West**  
 ENGINEERING  
 200 S. W. 10TH AVE. SUITE 200  
 HOUSTON, TX 77001

BANNOCK COUNTY LANDFILL  
ENTRANCE FACILITY DESIGN

ENTRANCE ROAD PLAN & PROFILE  
STA. 65+50 TO STA. 71+50

SHEET NO.  
**8**  
OF 20





NO.	REVISION DESCRIPTION	BY	DATE

PROJECT 132325	DESIGNED BAA	DRAWN STR/BAA	CHECKED TLC	APPROVED BMW	DATE MAY 19, 2025
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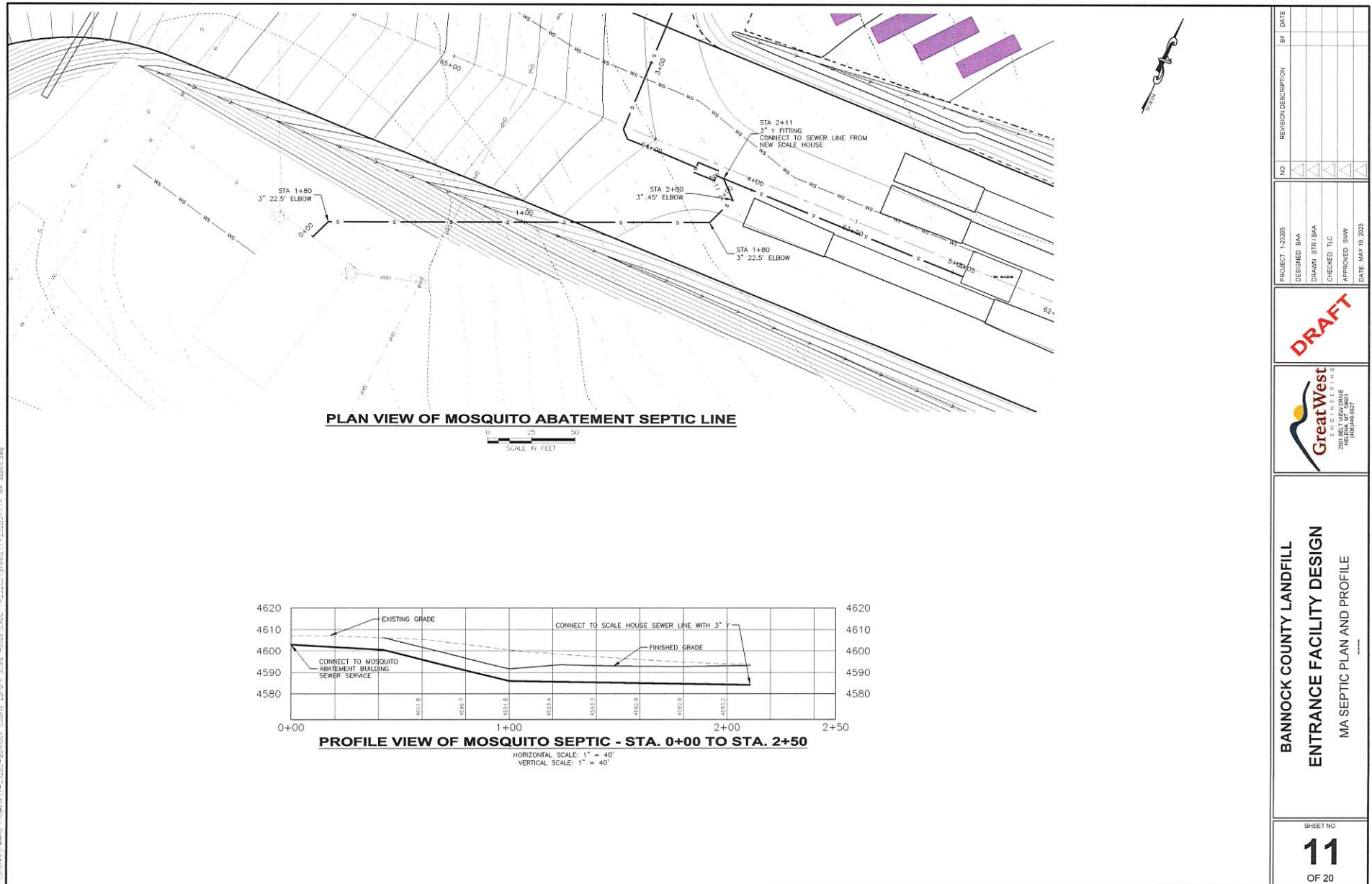
**DRAFT**



**BANNOCK COUNTY LANDFILL  
ENTRANCE FACILITY DESIGN  
SEPTIC PLAN AND PROFILE**

SHEET NO  
**10**  
OF 20

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V:\Borwick\Hearing Projects\1-21205-Bannock County Landfill Scale House CAD\1-21205-Entrance\1-21205-11-MA Septic.dwg

NO	REVISION DESCRIPTION	BY	DATE

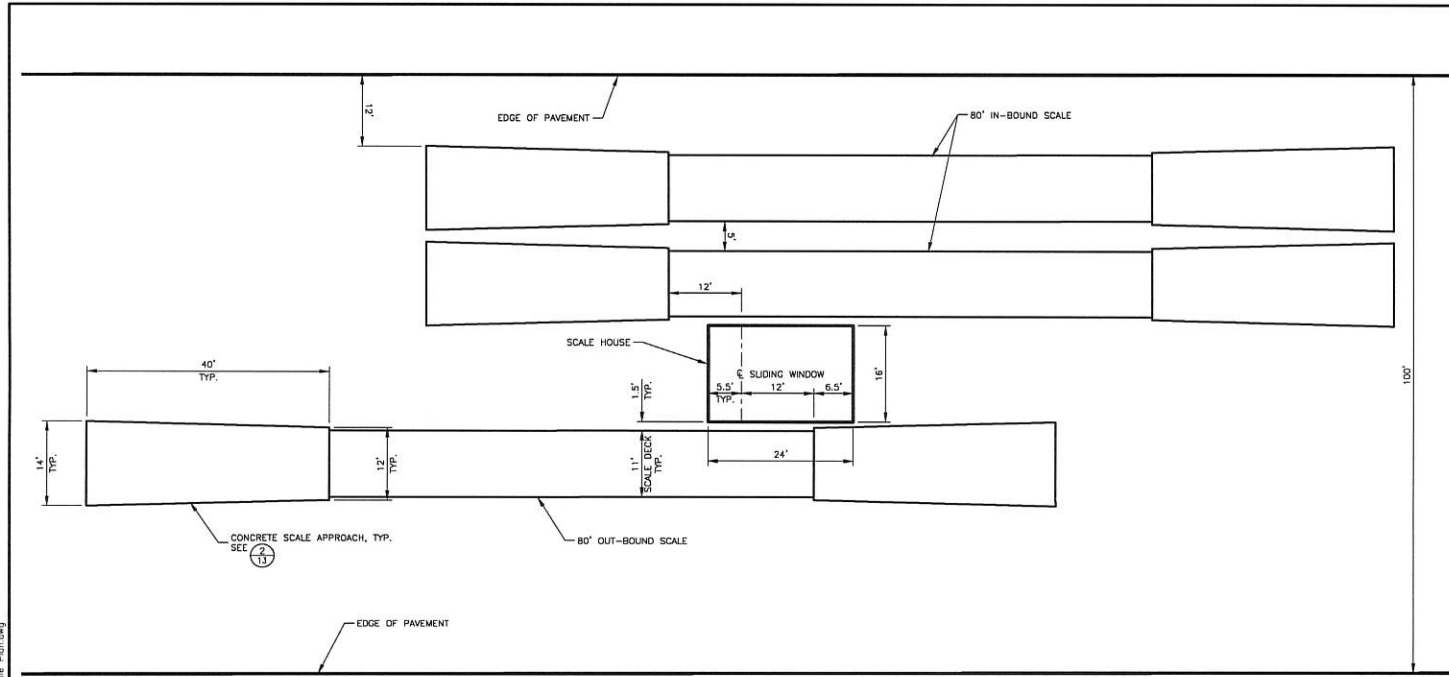
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DRAWN: STR/BAA	CHECKED: TLC
APPROVED: SUM	DATE: MAY 19, 2025

DRAFT

  
**Great West**  
 ENGINEERING  
 200 S. W. 10th Ave  
 Ocala, FL 32101

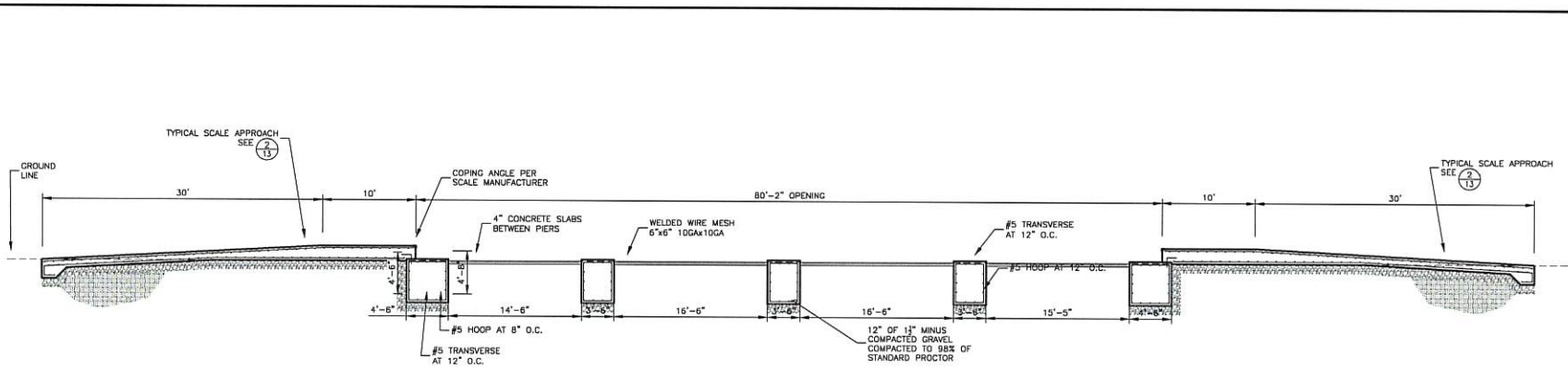
BANNOCK COUNTY LANDFILL  
 ENTRANCE FACILITY DESIGN  
 MA SEPTIC PLAN AND PROFILE

SHEET NO
11
OF 20



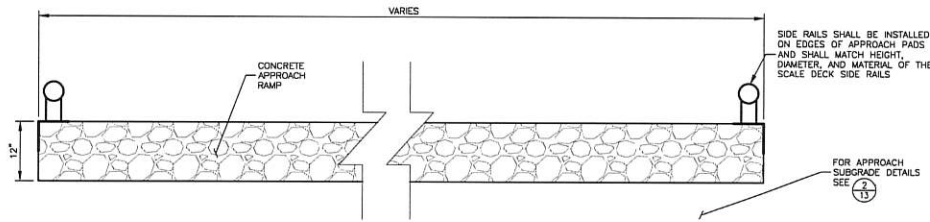
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PROJECT 1:2025		REVISION DESCRIPTION	BY	DATE
DESIGNED BBA		NO		
DRAWN STR/BAA		1		
CHECKED TJC		2		
APPROVED SMA		3		
DATE: MAY 19, 2025		4		
<b>DRAFT</b>				
 GreatWest ENGINEERING 200 S. MAIN ST. SUITE 100 HELIX, MT 59001 (406)464-0277				
<b>BANNOCK COUNTY LANDFILL</b> <b>ENTRANCE FACILITY DESIGN</b> SCALE PLAN				
SHEET NO <b>12</b> OF 20				

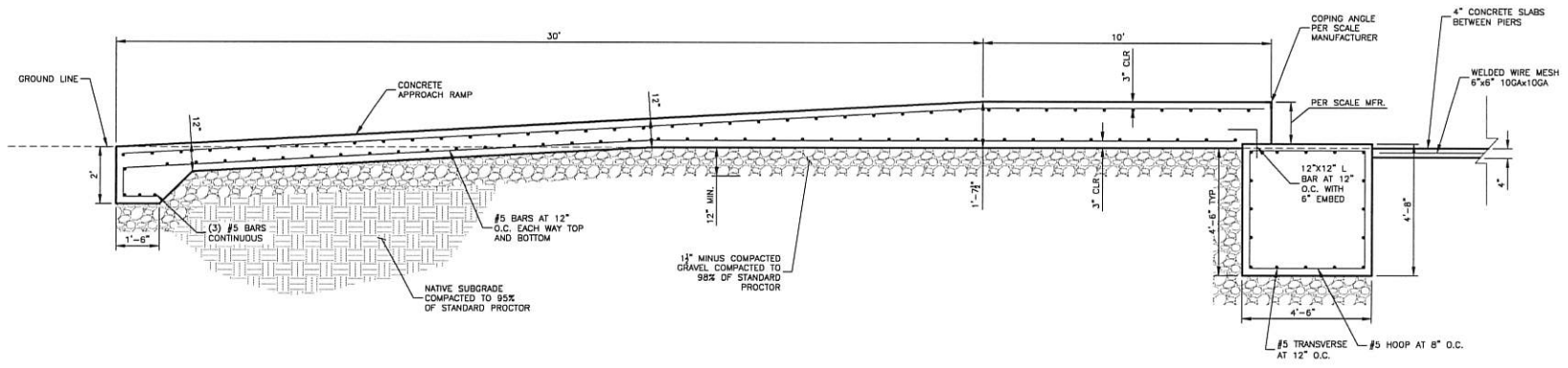


**1 SCALE FOUNDATION**  
NOT TO SCALE

- NOTES:
1. DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS FROM SCALE MANUFACTURER TO ENGINEER FOR REVIEW BEFORE BUILDING SCALE FOUNDATION.
  2. LOAD CELLS AND GROUND RODS SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS.
  3. SCALE FOUNDATION SHOWN IS FOR AN 80'x11' CONCRETE DECK CARDINAL SCALE MODEL #1010329. IF CONTRACTOR SUBMITS ON AN APPROVED EQUIVALENT THE CONTRACTOR SHALL ALSO SUBMIT A NEW FOUNDATION DESIGN.
  4. 3" TYPICAL CLEAR SPACE FOR ALL REBAR REINFORCEMENT.
  5. CONCRETE APPROACH RAMP SHALL BE 4,000 PSI CONCRETE CONSTRUCTED PER MPWSSS 03310.
  6. PROVIDE CONTROL JOINTS AT 15' O.C. SPACING MAX AND SHALL BE 2" DEPTH. CONTROL JOINTS SHALL BE CUT AS SOON AS CONCRETE SURFACE IS FIRM ENOUGH SO CONCRETE WILL NOT BE DAMAGED, BUT NO LATER THAN 12 HOURS AFTER CONCRETE HAS BEEN PLACED.



**SECTION OF SCALE APPROACH**



**2 TYPICAL SCALE APPROACH**  
NOT TO SCALE

NO.	REVISION/DESCRIPTION	BY	DATE

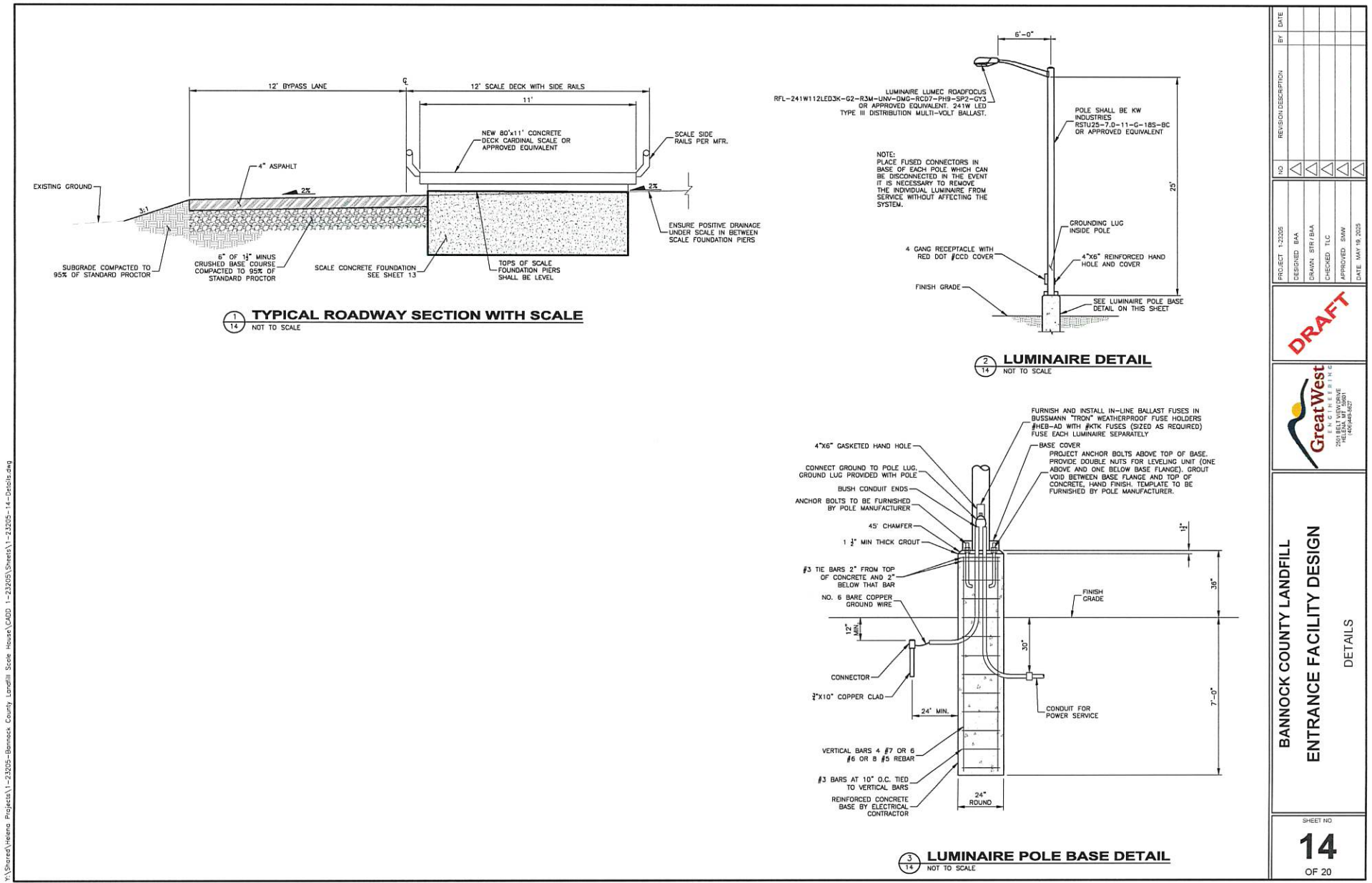
PROJECT: 23205  
 DESIGNED: BMA  
 DRAWN: ETR/EA  
 CHECKED: TLC  
 APPROVED: BMW  
 DATE: MAY 19, 2025

**DRAFT**

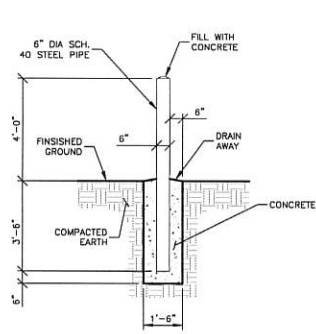
2501 BELLEVILLE AVENUE  
 HELIX, MONTANA 59601  
 (406) 831-1000

BANNOCK COUNTY LANDFILL  
**ENTRANCE FACILITY DESIGN**  
 SCALE DETAILS

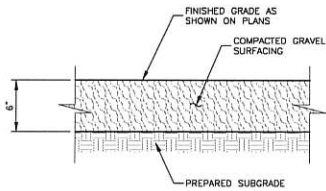
Y:\Shree\Heres Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205\Sheet\1-23205-13-Details.dwg



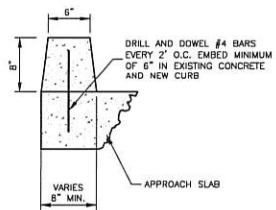
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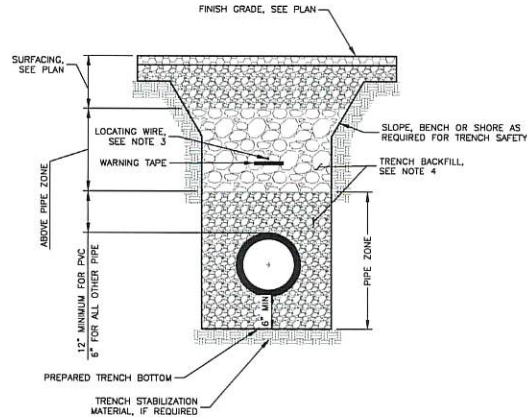
**1 BOLLARD DETAIL**  
NOT TO SCALE



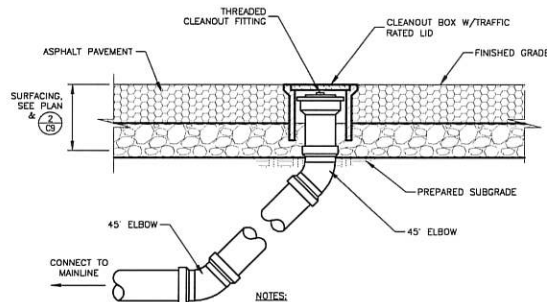
**3 GRAVEL SURFACING**  
NOT TO SCALE



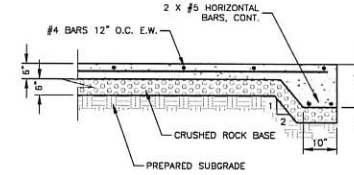
**6 CONCRETE CURBING**  
NOT TO SCALE



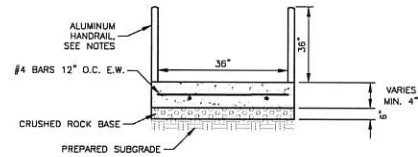
**2 PIPE TRENCH DETAIL**  
NOT TO SCALE



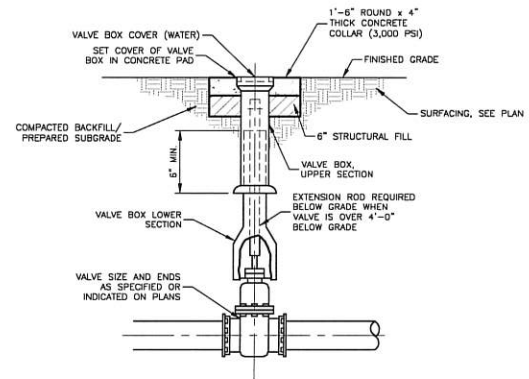
**7 CLEANOUT**  
NOT TO SCALE



**3 CONCRETE PATIO EDGE SECTION**  
NOT TO SCALE



**4 ADA ACCESS RAMP**  
NOT TO SCALE



**8 BURIED SERVICE VALVE**  
NOT TO SCALE

NO.	REVISION DESCRIPTION	BY	DATE

PROJECT 1-23205	DESIGNED BAA	DRAWN STR/FAA	CHECKED TLC	APPROVED BAA	DATE MAY 19, 2025
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**DRAFT**



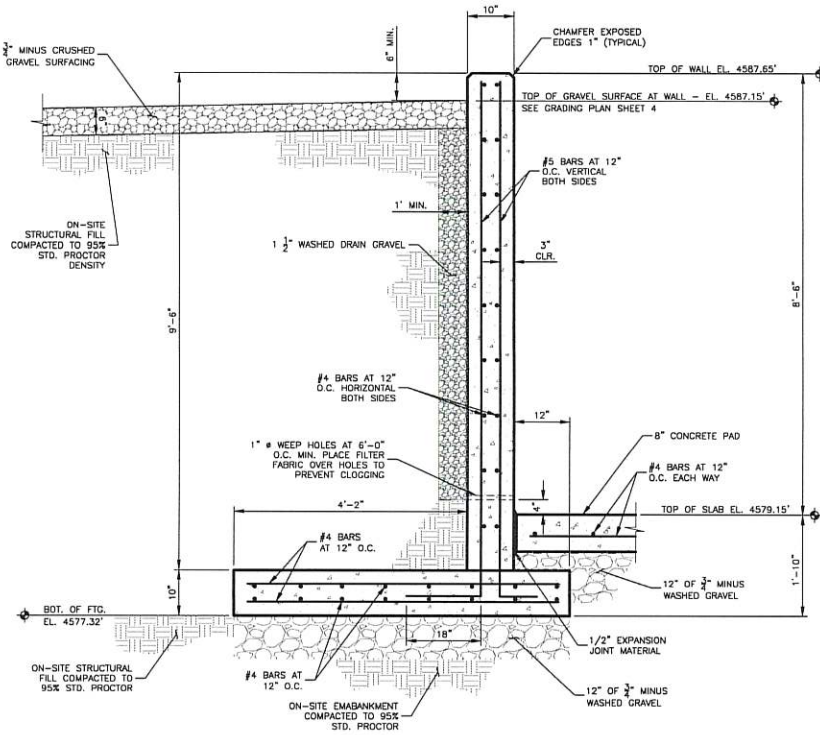
BANNOCK COUNTY LANDFILL  
ENTRANCE FACILITY DESIGN

DETAILS

SHEET NO  
**15**  
OF 20

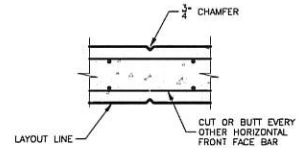
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V:\Stores\Hema Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205-Sheets\1-23205-16-Z-Well Details.dwg



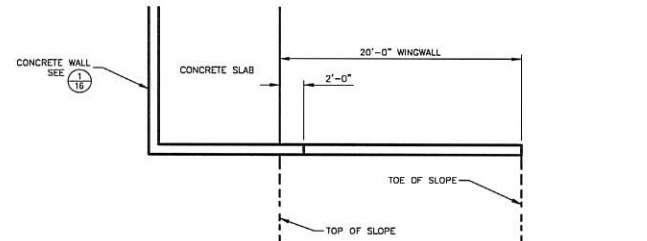
- NOTE:**
1. USE SAME REBAR VERT. AND HORIZ. SPACING PATTERN FOR WINGWALLS.
  2. CONCRETE WALL & FOOTING CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 4,000 PSI PER ISPCA.
  3. CONTAINER PAD CONCRETE PAD SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3,000 PSI PER ISPCA.
  4. ALL EXPOSED CONCRETE (WALLS AND SLABS) SHALL BE TREATED WITH SIKADARD 740W SILANE SEALER OR APPROVED EQUIVALENT PER SPECIAL PROVISION SP-25.

**1**  
**CONCRETE WALL SECTION**  
NOT TO SCALE

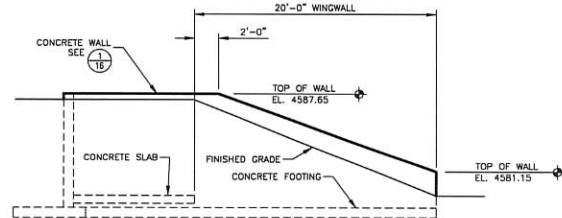


- NOTE:**
1. PLACE WEAKENED PLANE JOINTS AT 10'-0" FOOT MAX. SPACING

**4**  
**WEAKENED PLANE**  
NOT TO SCALE

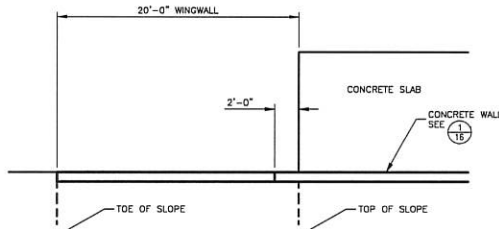


**PLAN**

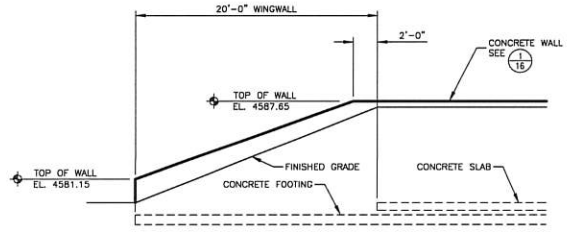


**PROFILE**

**2**  
**EAST CONCRETE WINGWALL**  
NOT TO SCALE



**PLAN**



**PROFILE**

**3**  
**WEST CONCRETE WINGWALL**  
NOT TO SCALE

NO.	REVISION/DESCRIPTION	BY	DATE

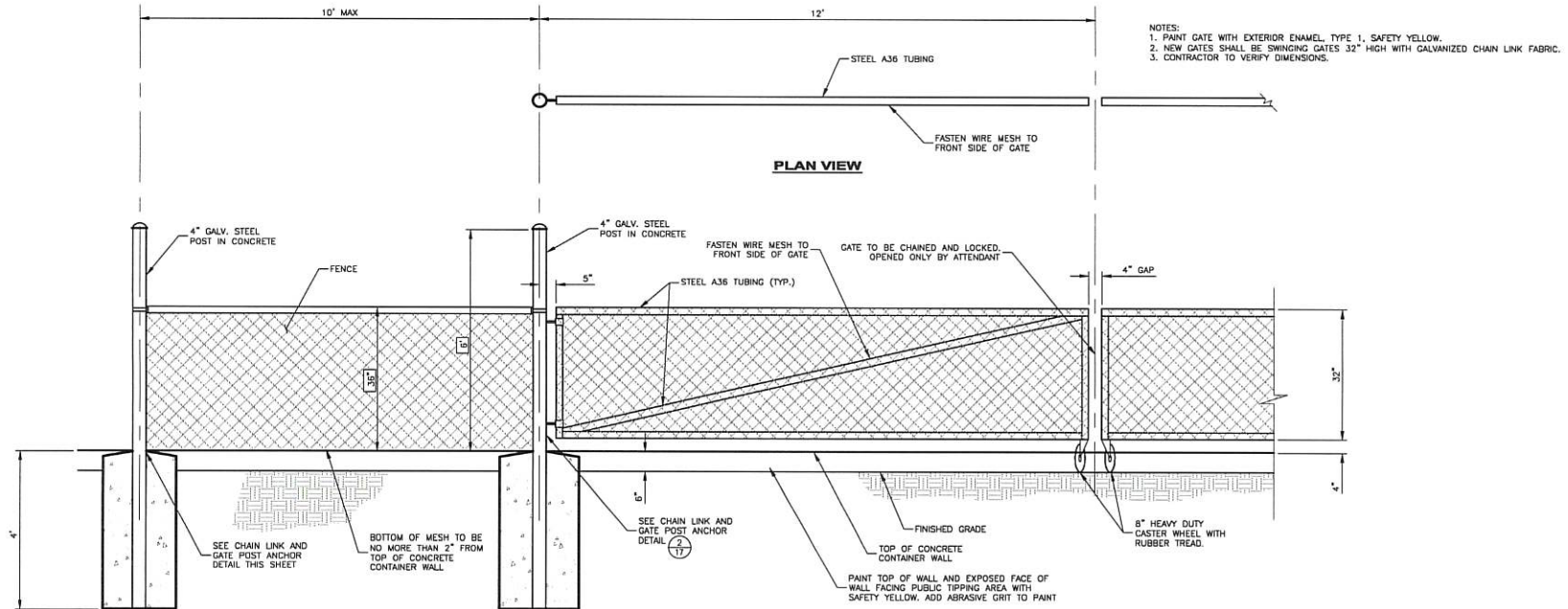
PROJECT: 1-23205	DESIGNED: BBA	DRAWN: STR/BA	CHECKED: TLC	APPROVED: BAA	DATE: MAY 19, 2025
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**DRAFT**



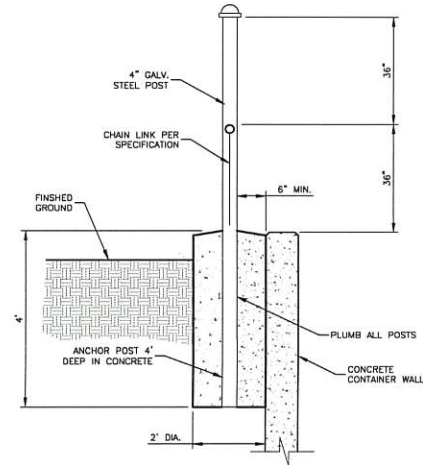
**BANNOCK COUNTY LANDFILL**  
**ENTRANCE FACILITY DESIGN**  
**Z-WALL DETAILS**

SHEET NO.  
**16**  
OF 20



NOTES:  
 1. PAINT GATE WITH EXTERIOR ENAMEL TYPE 1, SAFETY YELLOW.  
 2. NEW GATES SHALL BE SWINGING GATES 32\"/>

**GATE POST**  
**ELEVATION VIEW**  
**1 TOP OF WALL FENCE AND GATE DETAIL**  
 NOT TO SCALE



**2 TOP OF WALL CHAIN LINK AND GATE ANCHOR TYPICAL SECTION**  
 NOT TO SCALE

V:\Shared\Hazen Project\1-23205-Bannock County Landfill Scale House\CADD\1-23205-Sheets\1-23205-17-Fence Details.dwg

NO	REVISION/DESCRIPTION	BY	DATE

PROJECT: 1-23205	DESIGNED: BAA	DRAWN: BSR/BA	CHECKED: TLC	APPROVED: BAW	DATE: MAY 19, 2025
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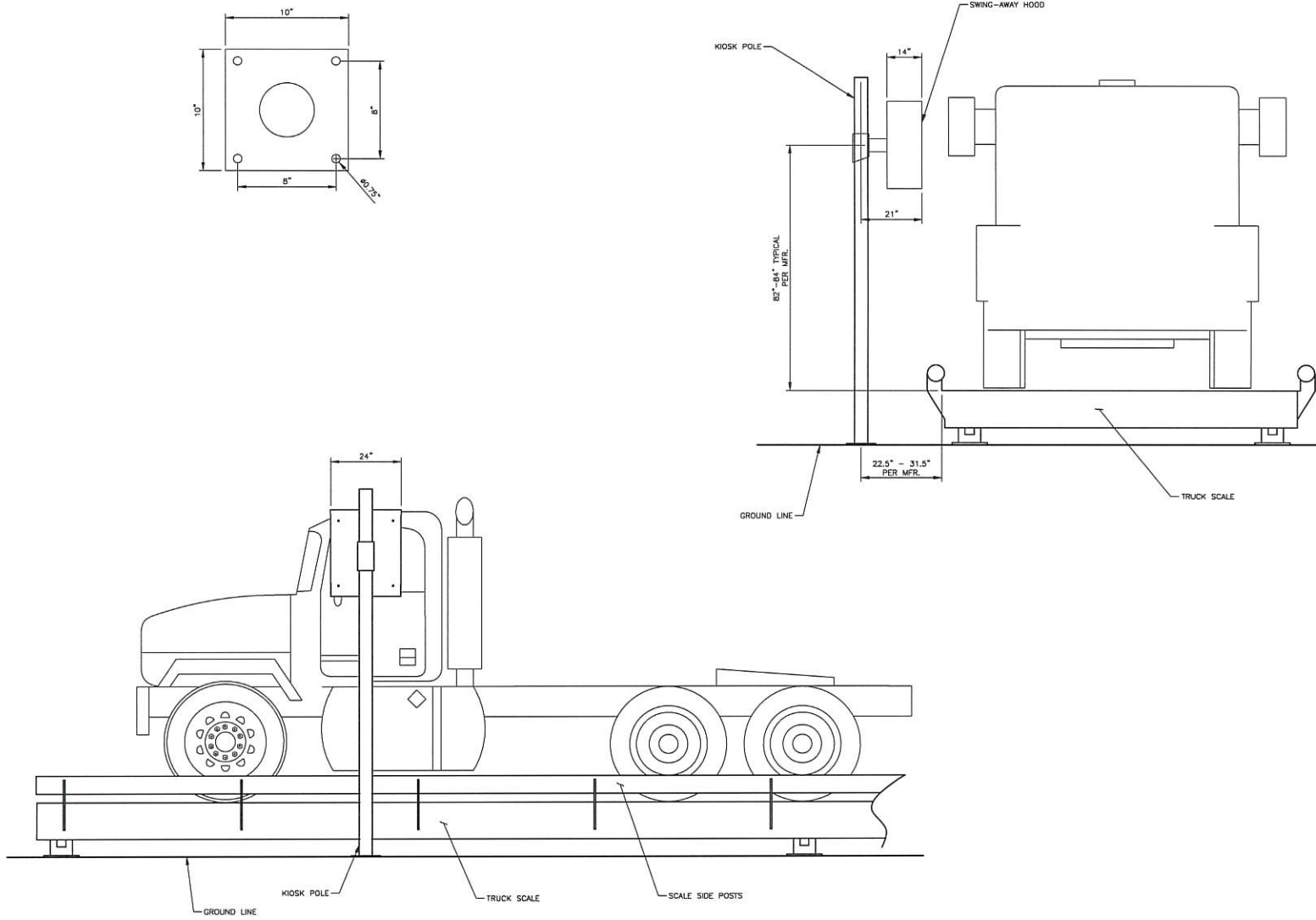
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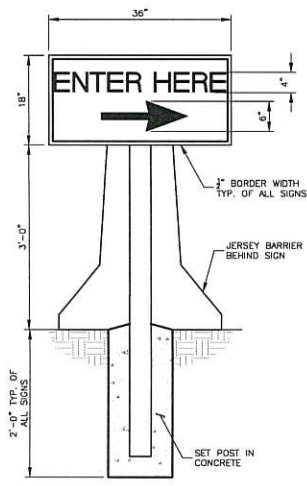
GREAT WEST ENGINEERING  
 2000 W. 10TH AVENUE  
 HELIX, MT 59601  
 (406) 469-8027

**BANNOCK COUNTY LANDFILL**  
**ENTRANCE FACILITY DESIGN**  
**Z-WALL SAFETY FENCE DETAILS**

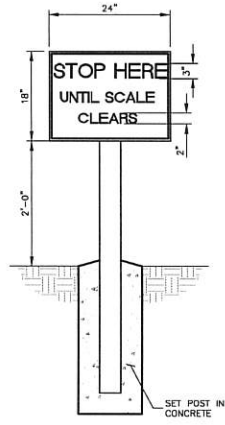
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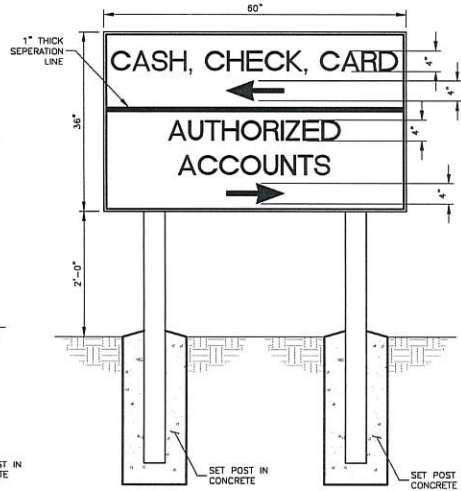
PROJECT: 13205		DESIGNED: BAA	DRAWN: STR/BAA	CHECKED: TLC	APPROVED: BAW	DATE: MAY 19, 2025
NO.		REVISION DESCRIPTION				
△						
△						
△						
△						
<b>DRAFT</b>						
 Great West ENGINEERING 2001 W. 10TH ST. SUITE 100 FORT COLLINS, CO 80502						
<b>BANNOCK COUNTY LANDFILL</b> <b>ENTRANCE FACILITY DESIGN</b> KIOSK POLE DETAILS						
SHEET NO.						
<b>18</b>						
OF 20						



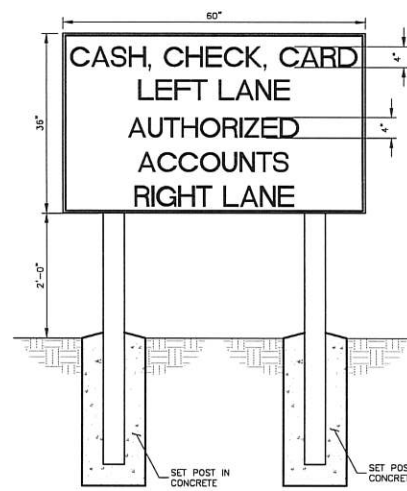
**SIGN #1**



**SIGN #2**

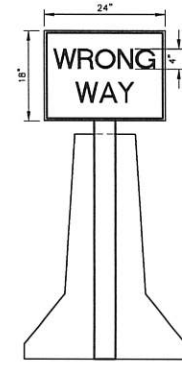


**SIGN #3**

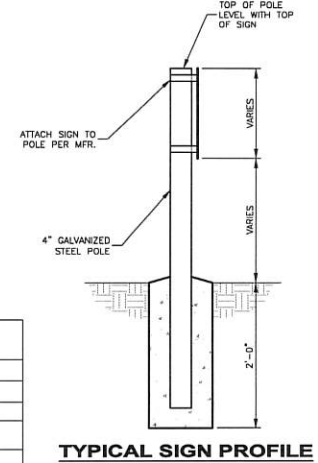


**SIGN #4**

NOTE: SIGN #5 SHALL BE FIELD FIT TO ATTACH TO NEW JERSEY BARRIER IN A MANNER THAT WILL ENSURE THE SIGN IS ONLY VISIBLE FROM A VEHICLE THAT ATTEMPTS TO ENTER THE FACILITY THROUGH THE EXIT LANE OF TRAFFIC. LETTERING SHALL NOT BE VISIBLE FROM ENTRANCE LANE.



**SIGN #5**



**TYPICAL SIGN PROFILE**

NO.	REVISION/DESCRIPTION	BY	DATE

PROJECT: 1-23205	DESIGNED: BHA	DRAWN: STR/BA	CHECKED: TLC	APPROVED: MMW	DATE: MAY 19, 2025
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**DRAFT**



**BANNOCK COUNTY LANDFILL  
ENTRANCE FACILITY DESIGN**

SIGNAGE

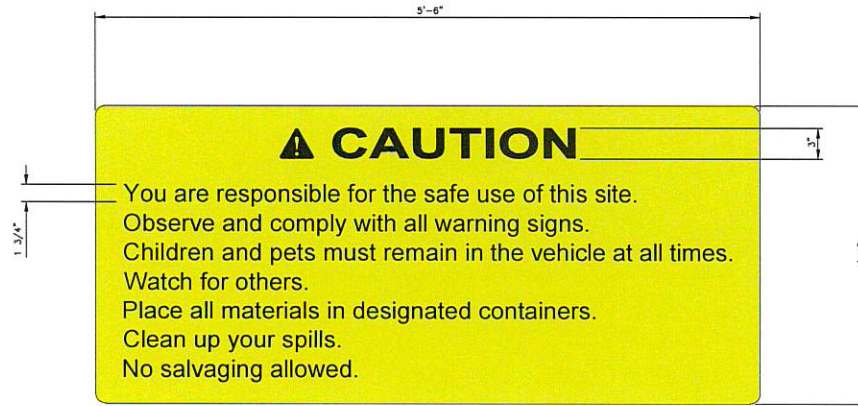
SHEET NO  
**19**  
OF 20

**SIGN SCHEDULE**

SIGN #	TEXT	SIZE SHAPE	COLOR	MOUNTING	QUANTITY
1	"ENTER HERE" WITH ARROW POINTING RIGHT	36" X 36" SQUARE	WHITE WITH BLACK LETTERS AND BORDER	ATTACH TO POST. SEE NOTE 3	1
2	"STOP HERE UNTIL SCALE CLEARS"	24" X 18" RECTANGLE	WHITE WITH BLACK LETTERS AND BORDER	ATTACH TO NEW LUMINAIRE POLE	1
3	"CASH, CHECK, CARD" WITH ARROW POINTING LEFT "AUTHORIZED ACCOUNTS" WITH ARROW POINTING RIGHT	60" X 36" RECTANGLE	WHITE WITH BLACK LETTERS AND BORDER	ATTACH TO TWO POSTS. SEE NOTE 3	1
4	"CASH, CHECK, CARD LEFT LANE AUTHORIZED ACCOUNTS RIGHT LANE"	60" X 36" RECTANGLE	WHITE WITH BLACK LETTERS AND BORDER	ATTACH TO TWO POSTS. SEE NOTE 3	1
5	"WRONG WAY"	24" X 18" RECTANGLE	RED WITH WHITE LETTERS AND BORDER	ATTACH TO NEW JERSEY RAIL. SEE NOTE	1

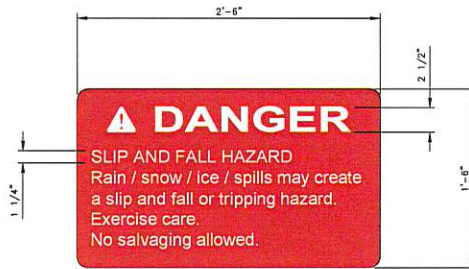
1. ALL SIGNS, UNLESS OTHERWISE NOTED, SHALL BE CONSTRUCTED WITH 5005-H34 ALUMINUM FLAT SHEET WITH A MILL FINISH. THE GAUGE OF THE ALUMINUM SHALL BE .080 GA. FOR SIGNS LESS THAN 6.25 SQ. FT., .100 GA. FOR SIGNS BETWEEN 6.25 SQ. FT. AND 9.00 SQ. FT., AND .125 GA. FOR SIGNS LARGER THAN 9.00 SQ. FT.
2. ALL TRAFFIC CONTROL SIGNS SHALL BE COATED WITH REFLECTIVE SHEETING. ALL SIGNS SHALL BE HORIZONTAL AND WITHIN 1/2" LEVEL.
3. SIGN POSTS SHALL BE 4" DIAMETER GALVANIZED STEEL POSTS.
4. ALL SIGNS SHALL BE MOUNTED UTILIZING BOLTS, WASHERS, NUTS, AND/OR BRACING AS RECOMMENDED BY THE SIGN MANUFACTURER AND APPROVED BY THE ENGINEER.
5. ALL SIGNS SHALL BE FABRICATED BY A REPUTABLE SIGNWORKS MANUFACTURER WITH A MIN. OF 3 YEARS EXPERIENCE IN THE SIGNING INDUSTRY.

Y:\Shorec\Helen Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205\Sheet\1-23205-19-Signage.dwg



NOTE:  
THE SIGN SHALL BE A RECTANGLE WITH  
BLACK LEGEND ON YELLOW BACKGROUND.

**ENTRY SIGN**  
NOT TO SCALE



NOTE:  
1. THE SIGN SHALL BE A RECTANGLE WITH  
WHITE LEGEND ON RED BACKGROUND.  
2. ONE SIGN PER CONTAINER BAY.



NOTE:  
1. THE SIGN SHALL BE A RECTANGLE WITH  
BLACK LEGEND ON ORANGE BACKGROUND.  
2. ONE SIGN PER CONTAINER BAY.

**SIGNS AT TOP OF CONTAINER WALL**  
NOT TO SCALE

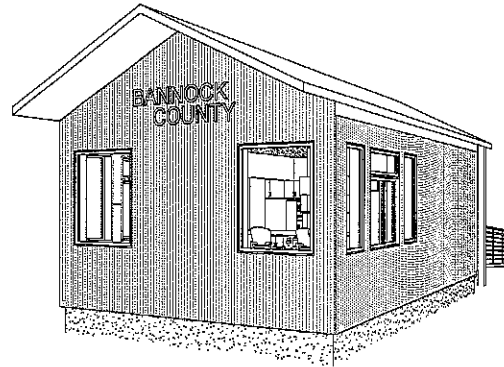
- SIGN SPECIFICATIONS:**
1. ALL SIGNS, UNLESS OTHERWISE NOTED, SHALL BE CONSTRUCTED WITH 5005-H34 ALUMINUM FLAT SHEET WITH A MILL FINISH. THE GAUGE OF THE ALUMINUM SHALL BE .080.
  2. ALL SIGNS SHALL BE COATED WITH REFLECTIVE SHEETING, AND MEET THE MINIMUM RETROREFLECTIVITY REQUIREMENTS OUTLINED IN THE MUTCD MANUAL.
  3. ALL SIGNS SHALL BE MOUNTED UTILIZING BOLTS, WASHERS AND NUTS AS RECOMMENDED BY THE SIGN MANUFACTURER.
  4. SIGN MOUNTING HEIGHTS TO BE PER APPLICABLE OSHA STANDARDS.

\\S:\areas\veena Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205\Sheets\1-23205-26-Signage-DLL.dwg

PROJECT: 1-23205		DESIGNED: BMA	DRAWN: STB/BAA	CHECKED: TLC	APPROVED: BMA	DATE: MAY 19, 2025
REVISION/DESCRIPTION		NO.	BY	DATE		
		1				
		2				
		3				
		4				
		5				
		6				
		7				
		8				
		9				
		10				
<b>DRAFT</b>						
 GreatWest ENGINEERING 1000 W. 10TH ST. SPOKANE, WA 99201 (509)447-6677						
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN SIGNAGE						
SHEET NO						
<b>20</b>						
OF 20						

# BANNOCK COUNTY SCALE HOUSE

BANNOCK COUNTY, ID



### SHEET INDEX

#### ARCHITECTURAL DRAWINGS

- A00 COVER
- A01 COORDINATION
- A02 GENERAL INFORMATION (ASSEMBLY TYPES)
- A03 DETAILS
- A04 FLOOR PLAN
- A05 EXTERIOR FINISH, STAIRS/FIREP
- A06 EXTERIOR FINISHING
- A07 SECTIONS
- A08 DETAILS
- A09 DOOR & WINDOW TYPES, DOOR SCHEDULE
- A10 FINISH PAINT & SCHEDULE
- A11 MECHANICAL
- A12 A00-01
- A13 A00-01

### PROJECT DIRECTORY

#### ARCHITECT:

**mosaic**  
architecture

MOSAIC ARCHITECTURE, P.C.  
317 CRUISE AVE., SUITE 201  
HELENA, MT 59601  
(406) 449-2013  
CONTACT: MATT ARNHE, AIA matt@mosaicarch.com

#### CIVIL ENGINEERING:

GREATWEST ENGINEERING  
2501 BELT VIEW DRIVE  
HELENA, MT 59602  
(406) 449-8827

CONTACT:

#### MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING:

#### STRUCTURAL/CIVIL ENGINEERING:

CITY STAMP

CITY STAMP

# DATE REVISION

#	DATE	REVISION



317 Cruise Ave. Suite 201  
Helena, Montana  
59601

(406) 449-2013

www.mosaicarch.com

BANNOCK COUNTY  
SCALE HOUSE

Scale address here

COVER

DATE: 5/29/2025

SHEET: **A000**

THESE DRAWINGS WERE PREPARED BY MOSAIC ARCHITECTURE, P.C. FOR CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. AS SUCH, THE DRAWINGS ARE THE PROPERTY OF MOSAIC ARCHITECTURE, P.C. & MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN APPROVAL OF MOSAIC ARCHITECTURE, P.C.

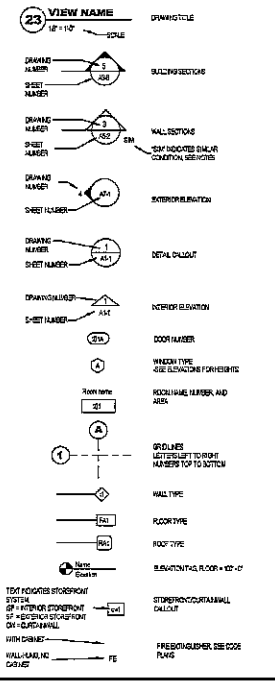
DATE STAMP: 5/29/2025 10:31:11 AM



ABBREVIATIONS:

Table of abbreviations for architectural symbols, including terms like 'at', 'to', 'from', 'to', 'from', 'to', 'from', etc.

REFERENCE SYMBOLS:



GENERAL CONDITIONS:

- List of general conditions for the construction of buildings, including references to contract documents and specifications.

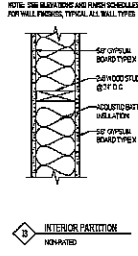
GENERAL NOTES:

- General notes for the drawings, covering construction details, material specifications, and coordination requirements.

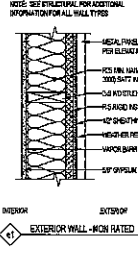
GENERAL WALL NOTES:

- General wall notes detailing construction methods, material requirements, and performance criteria for various wall types.

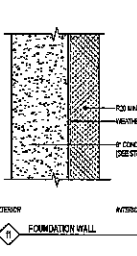
INTERIOR WALL TYPES



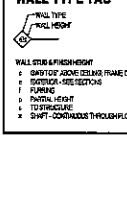
EXTERIOR WALL TYPES



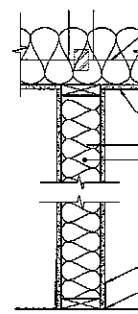
FOUNDATION TYPES



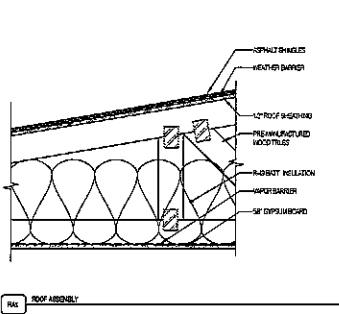
WALL TYPE TAG



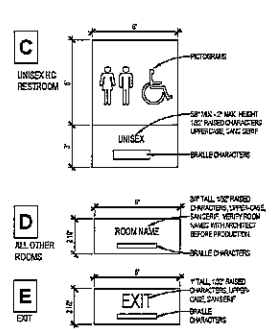
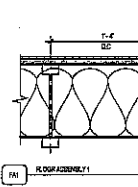
PARTITION WALL BRACING



ROOF/CEILING ASSEMBLIES



FLOOR ASSEMBLY



ROOM SIGNAGE

- Room signage requirements detailing the placement, size, and content of signs for various rooms.

FIRE ALARM CONTROL PANEL INSIDE



SPRINKLER RISER ROOM



CITY STAMP

DATE REVISION



337 Oak Ave. Suite 201  
Hobart, Indiana 46324  
463.442.9372  
www.mosaicinc.com

BANNOCK COUNTY SCALE HOUSE

Printed and Assembled

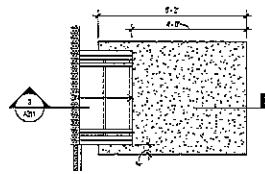
GENERAL INFORMATION & ASSEMBLY TYPES

DATE Issue Date

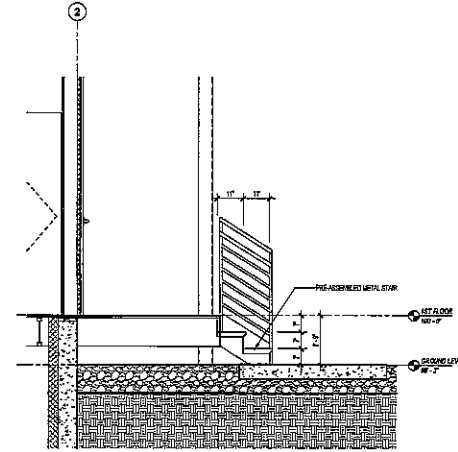
SHEET

A002





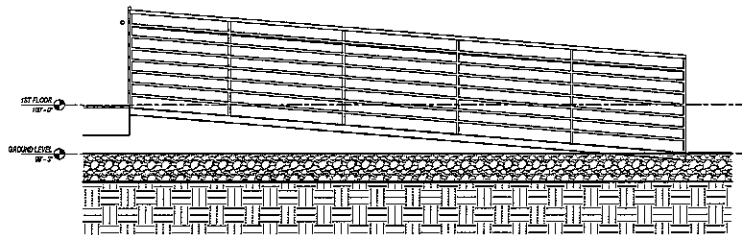
1 STAIR ENLARGED PLAN  
1/2" = 1'-0"



3 STAIR SECTION  
1/2" = 1'-0"



2 ENLARGED PLAN-RAMP  
1/2" = 1'-0"



4 RAMP SECTION  
1/2" = 1'-0"

CITY STAMP

C. DATE: REVISED:

**mosaic**  
ARCHITECTURE-PLANNING-DESIGN

327 Cross Ave. Suite 201  
Bozeman, Montana  
59703

404.449.2025

www.mosaicarch.com

BANNOCK COUNTY  
SCALE HOUSE

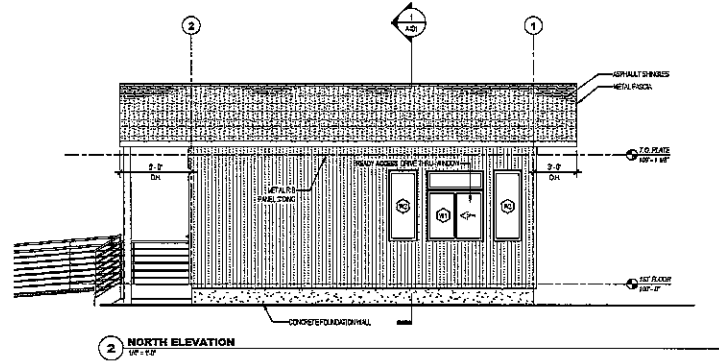
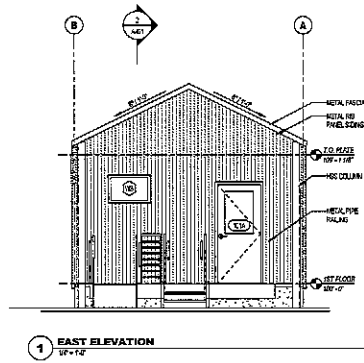
Enter address here:

ENLARGED PLAN - STAIRS /

RAMP

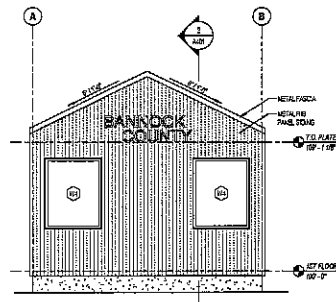
DATE: Issue Date

PROJECT: **A211**

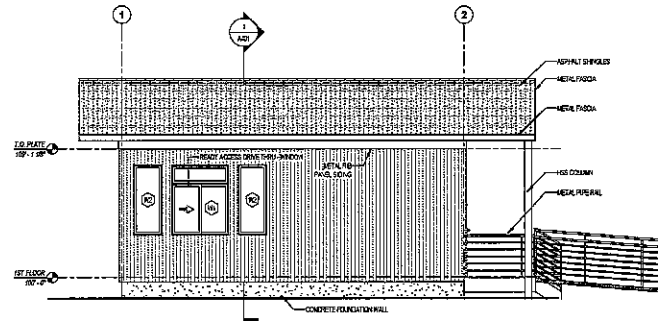


1 EAST ELEVATION  
10' x 12'

2 NORTH ELEVATION  
10' x 10'



4 WEST ELEVATION  
10' x 12'



3 SOUTH ELEVATION  
10' x 10'

**MATERIALS LEGEND**

	ASPHALT SHINGLES
	VERTICAL CORRUGATED METAL PANEL SIDING
	METAL FINISH
	CAST IN PLACE CONCRETE

- NOTES**
- THIS SET DOES NOT INCLUDE MATERIALS. SEE NOTES AND REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
  - ALL EXPOSED WOOD FLOOR JOISTS TO BE FINISHED PAINT ALL VISIBLE TRIM, NO DOORS & DOOR FLOORING.

CITY STAMP

DATE REVIEWED

**mosaic**  
ARCHITECTURE • PLANNING • DESIGN

317 Cross Ave. Suite 201  
Bozeman, Montana  
59701

406.448.2013

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BANNOCK COUNTY  
SCALE HOUSE

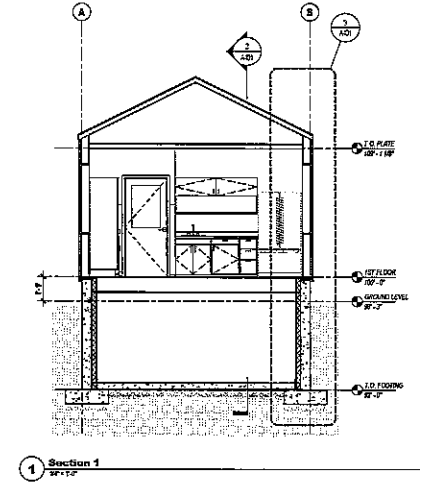
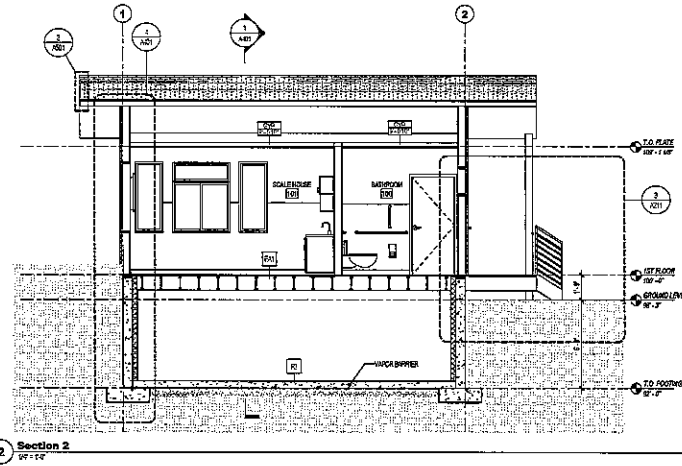
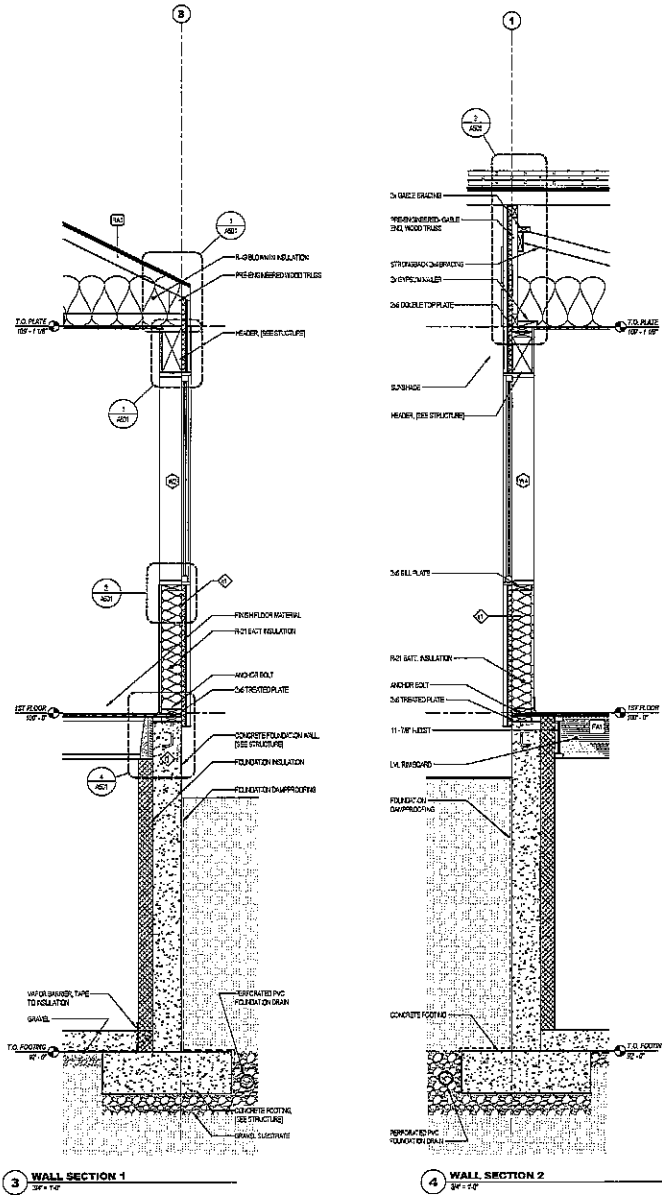
Client Address Here

EXTERIOR ELEVATIONS

DATE: Issue Date

PROGRESS SET

A301



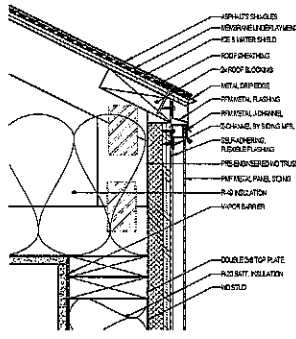
DATE STAMP  
DRAWING NO. 2024-001

CITY STAMP

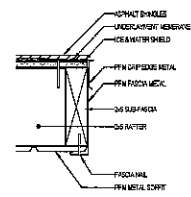
# DATE REVISION

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architectural • planning • design  
377 Clow Ave., Suite 201  
Napa, MO 64601  
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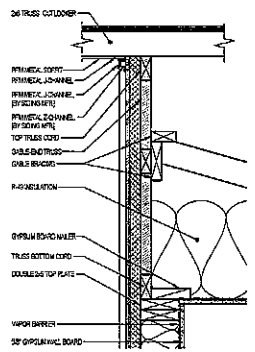
**PROGRESS SET**  
BANNOCK COUNTY  
SCALE HOUSE  
Date submitted: \_\_\_\_\_  
SECTIONS  
DATE: \_\_\_\_\_ Issue Date: \_\_\_\_\_  
SHEET: **A401**



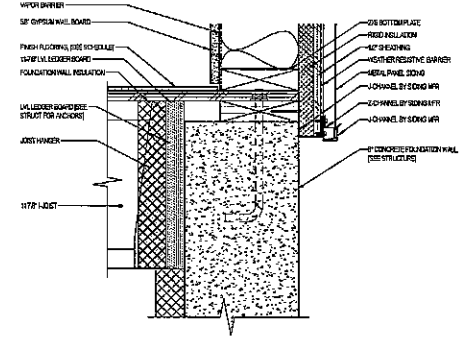
1 EAVE @ ROOF  
3'-1/2"



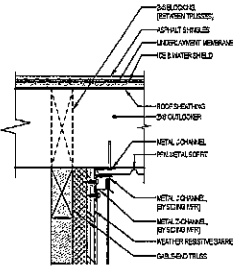
2 ROOF @ RAKE  
2'-1/2"



3 TRUSS @ GABLE  
1'-0" x 1'-0"



4 JOIST @ LEDGER  
2'-1/2"



5 OVERHANG @ WALL  
2'-1/2"

CITY STAMP

J. NETE SERVICES  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
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**mosaic**  
 residential - planning - design  
 217 Crow Ave. Suite 201  
 Helena, Montana  
 59601  
 406.449.2913  
 www.mosaicrs.com

**PROGRESS SET**  
 BANNOCK COUNTY  
 SCALE HOUSE  
 \_\_\_\_\_  
 Enter address here  
 DETAILS  
 DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 SHEET: **A501**

DATE STAMP: 05/29/2025 10:30:37 AM

**GENERAL NOTES - INTERIORS**

1. SET FINISH FLOOR MOUNTING HEIGHTS & FINISHMENTS UNLESS OTHERWISE NOTED.
2. FINISH DOORS TO BE OPERATING MECHANISMS SHALL BE OPERABLE WITH 60 LBS MAXIMUM FORCE. FINISH DOORS TO BE OPERABLE BY TWO (2) OF "HANDICAPED" AND "GOOD" TO "BETTER" ADULTS. COMPASS SHALL BE NO GREATER THAN 1/2".
3. WHERE FINISH FLOOR MOUNTING HEIGHTS ARE SPECIFIED, FINISH DOORS SHALL BE PROVIDED AT LEAST ONE (1) OF EACH TYPE TO BE PROVIDED WITH OPERABLE PARTS WITHIN 48" OF FLOOR AND NOT BE SUBJECT TO ACCESS WITH FINISH INSULATED OR OTHERWISE COVERED.
4. PROVIDE CODE COMPLIANT LOCKING WITH HANDS AS REQUIRED FOR ALL WALL MOUNTED FPC.
5. PROVIDE FINISH HANDS TO BE OPERABLE WITH FINISH UNPAVED WORKING LOAD OF 20 LBS/FT<sup>2</sup> IN FRONT OF THE FLOOR.
6. ALL WALL MOUNTED FPC SHALL BE 1/2" MINIMUM THICKNESS.
7. ALL SELF-CLOSING WALLS REQUIRED AT 4'-0" OR LESS, BOLDED UTILITY ROOMS & BATHROOMS.
8. SEE COMPAH PLANS & FINISH SCHEDULES FOR ANNOTATED INFORMATION.

**ABBREVIATIONS**

ALUM	ALUMINUM
ASPD	ASBESTOS FREE DRYBRICK
FACT	FIBERFACED FIBERGLASS INSULATION
FR	FIBERGLASS INSULATION
WFL	WALL FLOOR JOIST
SP	SPACER
STL	STEEL
INS	INSULATED

**GLAZING LEGEND**

	1/2" LAMINATED SAFETY GLAZING
	1/2" LAMINATED SAFETY GLAZING WITH TINTED GLAZING

**ACCESSORIES LEGEND**

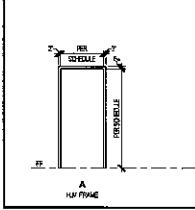
	NECESSARY EQUIPMENT TAG
	BURNING CHAIRS (STATION - KIDNAPERS ROOMS)
	GRAB BARS
	WALL FLOOR JOIST
	POWER TONAL DEFENSE
	DOOR OPERATOR
	SAFETY HAZARD DISPLAY
	TOILET PAPER DISPENSER
	INCLUDE LIGHT HOODS ON THE PRICE OF ALL TOILET PARTITION DOORS

**GENERAL DOOR NOTES**

1. ALL DOOR LOCKING SYSTEMS SHALL BE DESIGNED TO BE PLACED IN THE PROXIMAL SURFACE. FPC'S AND DIRECTLY ADJACENT INTERNAL CONTACT MUST BE PROPERLY PLUMBING.
2. ALL DOORS TO HAVE COMPLIANT THRESHOLDS WITH 1/2" MAXIMUM HEIGHTS UNLESS OTHERWISE SPECIFIED.
3. ALL METAL DOORS NOT FINISHED TO BE PROVIDED AND FINISH COOR WITH FINISH COOR.
4. ALL EXTERIOR DOORS TO BE FULLY INSULATED.
5. ALL EXTERIOR DOORS TO HAVE FULLY INSULATED HEADS.
6. ALL EXTERIOR DOORS TO HAVE FULLY INSULATED HEADS.
7. ALL DOOR FRAMES TO HAVE RESILIENT GASKETS.
8. CONTRACTOR TO USE APPROVED DOOR TYPE FOR IDENTIFICATION NUMBER IN PLAN TO THE ROOM NUMBER TO CLIP DRAWING SUBMITTALS.
9. FPC'S FOR FRAMES MUST MATCH WITH FPC'S FOR DOORS.
10. SEE WINDOW ELEVATIONS FOR FRAME TYPES FOR ALL FRAME TYPES.
11. ALL EXTERIOR DOORS SHALL BE FULLY OPERABLE FROM THE EXTERIOR WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

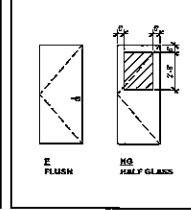
**DOOR FRAME TYPES**

SEE PLAN AND SCHEDULE FOR ALL DOOR SIZES



**DOOR TYPES**

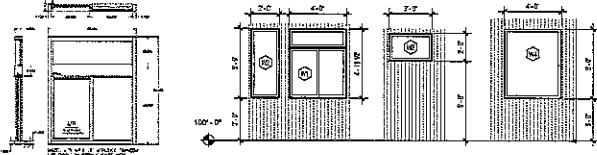
SEE PLAN AND SCHEDULE FOR ALL DOOR SIZES



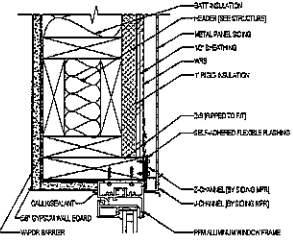
**EXTERIOR WINDOW ELEVATIONS**

MINIMUM WINDOW HEAD TO FINISH

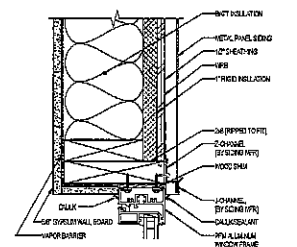
- Single Pane Window
- Double Pane Window
- Triple Pane Window
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION
- 1/2" INSULATION



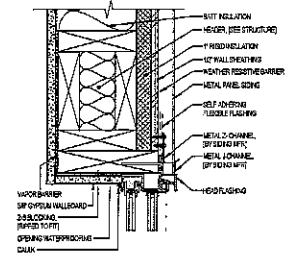
DOOR SCHEDULE											
NO.	ROOM NAME	DOOR TYPE	WIDTH	HEIGHT	THRESHOLD	DOOR MTL.	DOOR FINISH	FRAME TYPE	FRAME MTL.	FRAME FINISH	SCREENING GROUP
001	TOILET ROOMS	2'-0"	7'-0"	1'-0"	1/2"	STL	FR	FR	FR	FR	FR



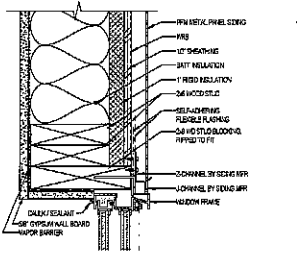
1. FIXED WINDOW HEAD 2'-0" x 7'-0"



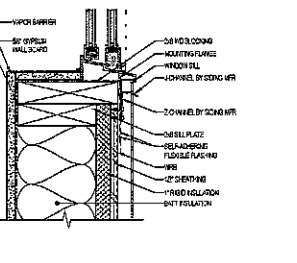
2. FIXED WINDOW JAMB / SILL 2'-0" x 7'-0"



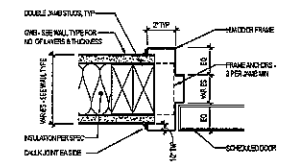
5. SLIDER WINDOW HEAD DETAIL 2'-0" x 7'-0"



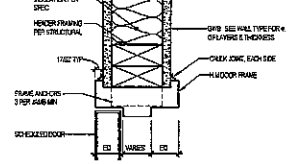
6. SLIDER WINDOW JAMB 2'-0" x 7'-0"



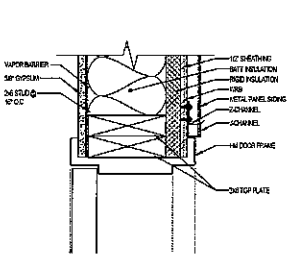
7. SLIDER SILL 2'-0" x 7'-0"



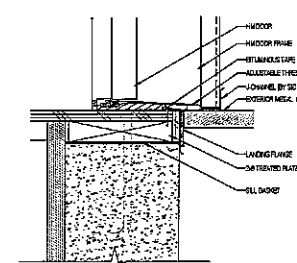
3. HM INTERIOR JAMB 2'-0" x 7'-0"



4. HM INTERIOR HEAD 2'-0" x 7'-0"



8. HM EXT. DOOR HEADER / JAMB 2'-0" x 7'-0"



9. HM EXTERIOR DOOR TRANSITION 2'-0" x 7'-0"

CITY STAMP

DATE: 5/29/25

SCALE HOUSE

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architectural & interior design

317 Crane Ave. Suite 201  
Helena, Montana  
59601

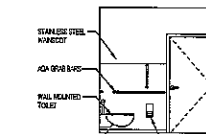
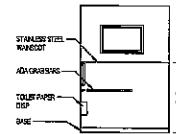
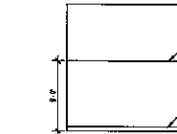
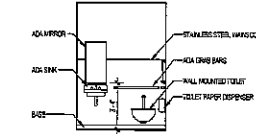
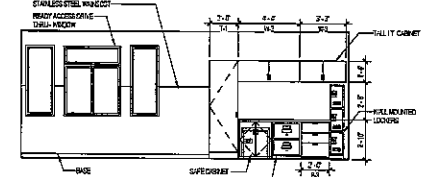
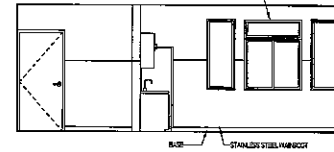
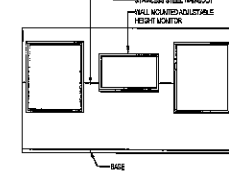
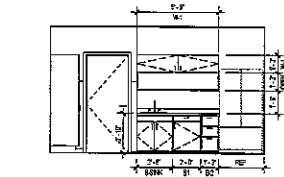
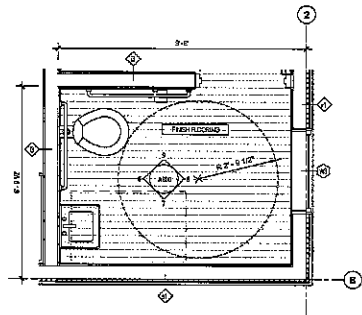
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**BANNOCK COUNTY SCALE HOUSE**

Door Annotations:  
DOOR & WINDOW TYPES, DOOR SCHEDULE

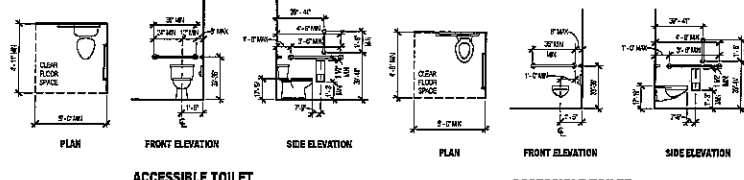
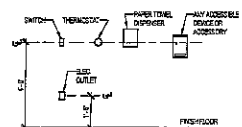
DATE: 1/20/24

PROJECT: **A601**



ACCESSIBLE MOUNTING HEIGHTS AND CLEARANCES

- 1. DIMENSIONS TO TOILET FROM ACCESSORIES ARE TO THE TOP OF THE HIGHEST OVERHANG OR OPERABLE PART.
- 2. ACCESSORIES AND COATERS SHALL BE MOUNTED WITH 0" OPERABLE PARTS AND 2" MINIMUM CLEARANCE.



ACCESSIBLE TOILET

CITY STAMP

#	DATE	REVISION

**mosaic**  
ARCHITECTURE & INTERIOR DESIGN  
217 Cassin Dr., Suite 201  
Boulder, Colorado  
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BANNOCK COUNTY  
SCALE HOUSE

PROGRESS SET

Enter address here  
INTERIOR ELEVATION  
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